



VERAMENDI

TRUE TEXAS HILL COUNTRY LIVING

DEVELOPMENT & DESIGN CONTROL DOCUMENT

Word-Borchers Ranch Joint Venture
& City of New Braunfels

Version 4.0
Approved March 25, 2024



Disclaimer

The Development & Design Control Document is Exhibit E to the Development Agreement between City of New Braunfels and Word-Borchers Ranch Joint Venture for a proposed Mixed Use Development, approved by the City on February 25, 2013.

Capitalized terms in this disclaimer shall have the meaning set forth in Section 2.4 of this DDCCD.

This DDCCD is envisioned as a dynamic document that shall continue to evolve in response to changing conditions and circumstances. As such, it is anticipated that over the life of the Project, the Development Standards herein may be amended to incorporate new conditions, special opportunities and/or circumstances, subject to mutual agreement of the City of New Braunfels and Word-Borchers Ranch Joint Venture.

The Master Developer and the City advise any party acquiring an interest in the property to obtain a current copy of this DDCCD before making any investment or development decisions regarding the property.

Each party acquiring an interest in property that is the subject of this DDCCD, whether by purchase, lease, as collateral for a loan or otherwise, acknowledges and agrees that development and use of the property is subject to the current version of this DDCCD, a copy of which is available at the offices of the City. Notwithstanding the foregoing, each Applicant seeking approval of proposals or plans under this DDCCD is solely responsible for complying with all laws and any approvals granted in relation to this DDCCD is for general design conformance only and the Applicant remains responsible for proper engineering, planning and performance of the work and integrity thereof. No person has the authority to represent that any proposal or plan complies with this DDCCD or shall be approved except the applicable governing body acting in an authorized administrative approval capacity or in a duly called meeting.



Amendment Index

VERSION	DATE APPROVED	AMENDMENTS
1.A	April 22, 2013	
2.0	February 10, 2014	Sections 2.4.1, 3.2, 11.1.1, 13.3.3 (Development Standards 1.1, 2.2-2.5), 13.3.5 (Development Standard 1.4), 13.3.7 (Development Standards 6.3, 6.4), 14.3.5 (Development Standards 1.1, 1.2) 22.2, 22.3, 22.3.1, 22.3.2, 22.3.3, 26.3, 26.3.1-26.3.9, 28.3.3 (Development Standard 1.1), 29.3.2 (Development Standard 1.2), 29.3.3 (Development Standard 1.1) 31.3.5 (Development Standard 1.1); Tables 14-1, 26-1, 32-2; Figure 22-1; 1 (Sections 1.3.1, 1.8-1.16); Appendix 6.
2.1	July 13, 2015	Section 2.4.1, 21.3.1 (Development Standard 1.1A), Plan 3-1.
3.0	February 25, 2019	Sections 1, 1.3, 1.4, 1.10, 2.1.1, 2.3.4, 2.3.4.2, 2.3.4.3, 2.4, 2.4.1, 3.1, 3.2, 4.1, 4.2, 5.1, 5.2, 6.2, 7.1, 7.2, 8.2, 9, 9.1.1, 9.2, 9.2.1, 9.3, 9.3.1, 9.4.1, 10, 10.1, 10.1.1, 10.2, 10.2.1, 11.1.1, 12.1, 12.2 12.3, 13.1.1, 13.3.1 (Development Standard 3.1), 13.3.3 (Development Standards 1.1, 2.1), 13.3.4 (Development Standards 2.3, 3.1, 3.2, 4.1, 4.2, 6.5), 13.3.5 (Development Standards 1.3, 1.5, 1.7), Section 13.3.7 (Development Standard 10.4), 13.4, 13.4.1, 13.4.2 (Development Standards 1.1-7.1), 13.4.3 (Development Standards 1.1, 2.1), 13.4.4, 14.3.1 (Development Standard 5.1), 14.3.2 (Development Standard 3.1), 14.3.4 (Development Standards 1.2, 1.3, 2.1, 5.1, 6.1), 14.3.5 (Development Standards 10.2 & 18.1), 16.3, 16.3.1 (Development Standards 1.1-8.2), 16.3.2 (Development Standards 1.1-4.2), 16.3.3 (Development Standards 1.1-9.2), 17.3.1 (Development Standards 6.1, 7.1, 8.1, 9.1, 10.1, 10.2), 17.3.2 (Development Standards 2.1-2.4, 3.1), 17.3.3 (Development Standards 1.1, 1.3, 3.1, 4.1, 4.2, 5.1, 6.1-6.4, 7.1, 8.1-8.4, 9.1, 9.2), 18.3.3 (Development Standards 1.1-9.2), 21.3.1 (Development Standard 1.1A), 23.3.3 (Development Standard 3.1), 23.3.4 (Development Standard 2.1), 24.3.2 Development Standard 3.1), 24.3.3 (Development Standard 2.1), 25.3.1 (Development Standard 3.4 & 5.1), 25.3.2 (Development Standard 3.1), 26.3.1 (Development Standard 5.1), 26.3.3 (Development Standard 1.1), 26.3.4 (Development Standard 1.2), 28.3.4 (Development Standard 1.1), 31.3.1 (Development Standard 6.1-7.1), 31.3.2 (Development Standard 3.1), 31.3.3 (Development Standard 1.1-1.2), 32.3.1 (Development Standard 1.1, 2.2), 32.3.2, 32.3.3 (Development Standards 1.1-5.5), 32.3.4, 32.3.5 (Development Standards 1.1-4.5), 32.3.6, 32.3.7, 32.3.8, 32.3.9, 33.3.1 (Development Standard 1.2), 33.3.2 (Development Standard 5.2, 7.1, 7.5); Plans 3-1, 4-1, 5-1, 5-2, 6-1, 7-1; Tables 1-1, 14-1, 14-3, 26-1, 31-1, 31-2, 33-1; Figures 2-4, 3-1, 4-1, 5-1, 5-2, 6-1, 7-1, 8-1, 16-1, 16-2, 16-3, 16-4, 16-5, 17-2, 17-3, 17-4, 17-5, 18-1, 18-2, 18-3, 18-4, 18-5; 31-1; Appendix 1 (Sections 1.2.6, 1.3, 1.3.1); Appendix 6, Appendix 7 (Sections 7.1-7.3).
3.1	June 24, 2019	Sections 2.4.1, 21.3.1 (Development Standards 5.1 & 7.1), 21.3.2 (Development Standards 1.1, 1.2, 2.1); Figures 21-2, 21-3, 21-4, 21-5.
3.2	February, 5 2021	Section 14.3.7, (Development Standard 1.3)
4.0	March 25, 2024	Sections 13.4.4 (Development Standards 1.1-4.2), 19.3, 19.3.1 (Development Standards 1.1-8.2), 19.3.2 (Development Standard 1.1-1.4), 19.3.3 (Development Standards 1.1-9.2), 32.6 (Development Standards 1.1-4.5); Table 14-1; Figures 19-1, 19-2, 19-3, 19-4, 19-5; Appendix 6; Appendix 7 (Section 7.4-7.5)



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PART A

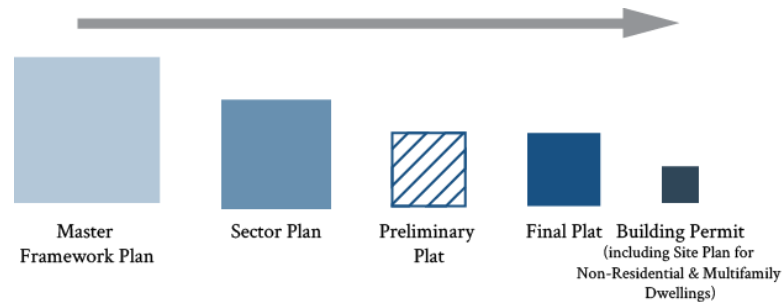
INTRODUCTION & ADMINISTRATION

1 Veramendi Approval Process

The following is an overview of the approval process for all development within the project, which is more fully set forth in the Development Agreement.

The entitlement process is illustrated in Figure 1-1.

Figure 1-1 Entitlement Process



1.1 Development Agreement

The Development Agreement is an agreement between the City and the Master Developer facilitating the planning and development of the project. The Development Agreement, among other matters, establishes the approval process for development within the project.

Where there is an inconsistency or conflict between this DDCD and the Development Agreement, the Development Agreement shall prevail.

1.2 Master Framework Plan

The Master Framework Plan establishes a broad development framework for the project by identifying the location of planning areas, planning area pods, major roadways, activity nodes, regional parks, linear open space parks, project boundaries, and other items shown on the Master Framework Plan.

In considering a major amendment to the Master Framework Plan, the City Council shall consider the following:

- whether the proposed amendment will be appropriate in the context of the immediate area, and the relationship to the City as a whole;
 - whether the proposed change is generally in accordance with any existing or proposed plans for providing public schools, streets, water, wastewater, and other utilities to the project or immediate area;
 - how other areas designated for similar development will be, or are likely to be, affected if the proposed amendment is approved;
 - any other factors that will substantially affect the public health, safety, morals, or general welfare;
 - whether the amendment is consistent with the Guiding Principles for the project outlined in Part B; and
 - whether the amendment is consistent with the Planning Area Objectives outlined in Part C.
- ▶ The process for amending the Master Framework Plan is set forth in the Development Agreement.
 - ▶ The submittal requirements for an amendment to the Master Framework Plan are included as Appendix 1, Section 1.1.

1.3 Sector Plan

A Sector Plan establishes a detailed framework for a sector by identifying neighborhood structure, land use and intensity, internal connectivity, major and minor roadways, major accessways and parks.

- ▶ The process for submitting a Sector Plan application is set forth in the Development Agreement.
- ▶ The submittal requirements for a Sector Plan application are included as Appendix 1, Section 1.3.

In considering the approval of a Sector Plan application, the Planning Commission and City Council shall consider the following:

- the Master Framework Plan;
 - any code identified in this DDCD as being applicable to a Sector Plan application; and
 - any other terms set forth in the Development Agreement.
- ▶ The triggers and processes for Major and Minor amendments to an approved Sector Plan are set forth in the Development Agreement.

In considering a major amendment to a Sector Plan, the Planning Commission and City Council shall consider the following:

- whether the proposed amendment will be appropriate in the context of the immediate area, and the relationship to the project as a whole;
- whether the proposed change is generally in accordance with any existing or proposed plans for providing public schools, streets, water, wastewater, and other utilities to the project or immediate area;
- how other areas within the project designated for similar development will be, or are likely to be, affected if the proposed amendment is approved;
- any other factors that will substantially affect the public health, safety, morals, or general welfare;
- whether the amendment is consistent with the Guiding Principles for the project outlined in Part B; and
- whether the amendment is consistent with the Planning Area Objectives outlined in Part C.

1.4 Planning for Specialized Areas

The Development Agreement identifies specific land use designations that are Specialized Areas requiring a more customized level of design. Pursuant to the Development Agreement, Specialized Areas require:

- a Specialized Area Plan to be prepared and approved by City Council; and
 - any Outstanding / Continued Outstanding Development Standards relating to the Specialized Area to be prepared for the approval of City Council and subsequent inclusion in the DDCD.
- ▶ The various processes for Specialized Area Plans and Outstanding / Continued Outstanding Development Standards for Specialized Areas are set forth in the Development Agreement and within this DDCD.

1.4.1 Specialized Area Plans

A Specialized Area Plan establishes a guiding framework for specific design elements that are essential to the successful implementation of development outcomes within Specialized Areas.

A Specialized Area Plan shall be submitted before, or with, the first Sector Plan application that encompasses all or the first part of a Specialized Area.

- ▶ The submittal requirements for a Specialized Area Plan application are included as Appendix 1, Section 1.3.1.

If approved by City Council, a Specialized Area Plan shall be included in Appendix 7.

Any amendment to an approved Specialized Area Plan shall be subject to the same submittal and approval processes as a proposed Specialized Area Plan.

1.4.2 Outstanding Development Standards for Specialized Areas & Continued Outstanding Development Standards for Specialized Areas

Per the Development Agreement, Outstanding Development Standards for Specialized Areas shall be submitted prior to the end of the third approval period (Note: Outstanding Development Standards were submitted by the developer and subsequently approved by City Council on February 10, 2014).

Any Continued Outstanding Development Standards for Specialized Areas that remain thereafter (as listed in Appendix 6) shall be submitted as part of a Sector Plan application.

When considering an Outstanding / Continued Outstanding Development Standard for a Specialized Area, the Planning Commission and City Council should give due consideration to the Guiding Principles and Planning Area Objectives. Those Outstanding / Continued Outstanding Development Standards for Specialized Areas approved by the City Council shall only apply to the sectors in which the specialized areas exist.

- ▶ The submittal requirements for Outstanding / Continued Development Standards for Specialized Areas are set forth in the Development Agreement and Appendix 1, Section 1.2.6.

If approved by City Council, the Outstanding / Continued Outstanding Development Standards shall be included in relevant sections of this DDCD and shall not be considered a voluntary amendment per Section 2.1.1.1.

1.5 Preliminary Plat

An Applicant may prepare and submit a Preliminary Plat. A Preliminary Plat, Final Plat and all accompanying documentation may be submitted together, or an Applicant may submit only a Final Plat without submitting a Preliminary Plat.

- ▶ The process for submitting and amending a Preliminary Plat is set forth in the Development Agreement.
- ▶ The submittal requirements for a Preliminary Plat application are included as Appendix 1, Section 1.4.

1.6 Final Plat

An Applicant shall prepare and submit a Final Plat for all or part of that land shown on the Sector Plan and Preliminary Plat, if applicable. The Final Plat shall incorporate any and all changes, modifications, alterations, corrections and conditions imposed by the City Council in approving the Sector Plan or the Planning Commission in approving the Preliminary Plat.

- ▶ The process for submitting and amending a Final Plat is set forth in the Development Agreement.
- ▶ The submittal requirements for a Final Plat application are included as Appendix 1, Section 1.5.

1.7 Additional Platting Processes

§§118-33 to 118-41 of the Code of Ordinances apply to the project as they relate to vacating plats, replatting, amending plats, minor plats, development plats, guarantees of performance, inspecting and acceptance of public improvements, licensing, deferral of required improvements, recordation and issuance of certificates of occupancy.

1.8 Site Plans and Building Permits

1.8.1 Non-Residential and Multi-Family Dwelling Use Developments

For non-residential and multi-family dwelling developments, an application for a Site Plan and Building Permit shall be submitted in accordance with the process set forth in the Development Agreement.

- ▶ The submittal requirements for a Site Plan and Building Permit are included as Appendix 1, Section 1.7.1.

1.8.2 Single Family Dwelling Use Developments

As set forth in the Development Agreement, the process for approval of a Building Permit by the City for residential uses shall be consistent with the process for approval of Building Permits for residential uses within the corporate jurisdiction of the City. No person shall erect or construct or proceed with the erection or construction of any building or structure, nor add to, enlarge, move, improve, alter, repair, convert, extend or demolish any building or structure or cause the same to be done without first applying for and obtaining a Building Permit.

- ▶ The submittal requirements for a Building Permit are included as Appendix 1, Section 1.7.2.

1.9 Special Use Permit

No person shall establish such a use identified as requiring a Special Use Permit without first applying for and obtaining a Special Use Permit from City Council.

Where a Special Use Permit is required, due consideration shall be given to the Guiding Principles and Planning Area Objectives. Where a land use does not compromise the achievement of these outcomes, the use should be allowed.

- ▶ The process for submitting a Special Use Permit is set forth in the Code of Ordinances.
- ▶ Uses that require a Special Use Permit are identified in Part D.

1.10 Review and Approval Authority

Table 1-1 outlines all review and approval entities for the various applications.



Table 1-1 Review and Approval Authority

This table provides only a summary of the project's entitlement process and does not establish any rights or remedies not expressly set forth in the Development Agreement or this DDCCD.

PROCEDURE	REVIEW AND DECISION-MAKING AUTHORITY			PUBLIC NOTICE
	PLANNING DIRECTOR	PLANNING COMMISSION*	CITY COUNCIL	
Master Framework Plan				
▪ Major Amendment	R	N/A	<DM>	N, M
▪ Minor Amendment	DM	N/A	A	N/A
Sector Plan	R	<R>	<DM>	N, M
▪ Major Amendment ¹	R	<R>	<DM>	N, M
▪ Minor Amendment ¹	DM	N/A	A	N/A
Specialized Area Plan	R	R	DM	N/A
Preliminary Plat (optional)	R	DM	A	N/A
▪ Major Amendment	R	DM	A	N/A
▪ Minor Amendment	DM	N/A	A	N/A
Final Plat	R	DM	A	N/A
▪ Major Amendment	R	DM	A	N/A
▪ Minor Amendment	DM	N/A	A	N/A
Building Permit	DM	N/A	A	N/A
Site Plan	DM	N/A	A	N/A
Special Use Permit	R	<R>	<DM>	N, M, P
DDCD Amendment				
▪ Development Agreement Obligation	R	N/A	DM	N/A
▪ Optional	R	<R>	<DM>	N, M
R	Review body (responsible for review and recommendation)		< >	Public hearing
DM	Decision-making body (responsible for final decision to approve or deny)		N	Newspaper
A	Authority to hear and decide appeals by the Applicant of decision-making body's action		M	Mailed to all properties within 200 feet of the subject property
N/A	Not applicable		P	Posted
1	A major or minor amendment to a Sector Plan triggered by a request for an alternative development standard related to a signage or detailed building façade development standard shall not be mandated to meet the public notice requirements set forth above.		*	Or any replacement body as set forth in the Development Agreement

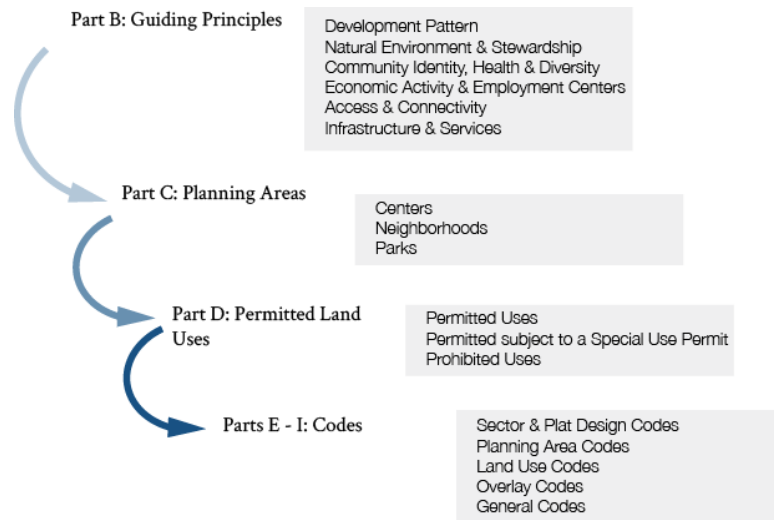
2 How to Use this DDCD

2.1 Development & Design Control Document

This DDCD establishes the parameters for development within the project through a hierarchy of principles, objectives and development standards. These parameters direct the preparation of Sector Plans, Plats and Site Plans. Compliance with this DDCD shall be monitored and controlled as part of the cascading approval process.

The structure of the DDCD is illustrated in Figure 2-1.

Figure 2-1 DDCD Structure



2.1.1 Amendments to the DDCD

The Development Agreement outlines particular circumstances where amendments to the DDCD are specifically required. In these circumstances, the amendments shall follow the processes outlined in the Development Agreement.

In other circumstances, the Master Developer and/or the District may voluntarily apply to the City to amend this DDCD. In these circumstances, the process for amending the DDCD is:

- The Master Developer and/or the District shall submit, in writing, the proposed DDCD amendments to the Planning Director.
- The Planning Director shall review the proposed amendments and make a recommendation to the Planning Commission.
- The proposed amendments and Planning Director recommendation shall be presented to the Planning Commission for their recommendation.
- After the Planning Commission makes a recommendation regarding the proposed amendments, the recommendations of the Planning Director and the Planning Commission shall be presented to the City Council for review and action.
- The process for recommending the proposed amendments to the Planning Commission and City Council shall be in accordance with §144-2.1 of the Code of Ordinances, whereby all references to proposed zoning changes and text amendments, and the property subject to such changes, are taken to mean an amendment to this DDCD, and land subject to this DDCD.

2.2 Applicability of DDCD

The DDCD applies to all development within the project.

2.3 Elements of DDCD

The following is an overview of the hierarchy of outcomes sought to be achieved by the project, and their role in the decision-making process.

2.3.1 Guiding Principles

Guiding Principles are the overarching outcomes sought to be achieved by the project and provide the framework for future development. The Guiding Principles are set forth in Part B of this DDCD.

2.3.2 Planning Area Objectives

Planning Area Objectives are the development outcomes sought to be achieved by individual planning areas. The Planning Area Objectives are set forth in Part C of this DDCD.

2.3.3 Permitted Land Use Matrix

The Permitted Land Use Matrix identifies what land uses are permitted, prohibited or subject to a Special Use Permit within the project.

2.3.4 Codes and Development Standards

Codes outline the development standards that development is required to comply with. In achieving the development standards, it shall be deemed that development contributes to the achievement of the Guiding Principles and Planning Area Objectives.

Where this DDCD is silent on any matter, the Code of Ordinances applies unless the Development Agreement indicates otherwise.

2.3.4.1 Codes

There are six types of codes:

- **Sector Design Code** is applicable to all Sector Plan applications.
- **Plat Design Code** is applicable to all Plat applications.
- **Planning Area Codes** are applicable to all Site Plan applications within that planning area.
- **Use Codes** are applicable to certain Site Plan applications.
- **Overlay Codes** are applicable to certain Sector Plan, Plat and Site Plan applications.
- **General Codes** are applicable to certain Sector Plan, Plat and Site Plan applications.

Most applications shall be required to address more than one code.

2.3.4.2 Development Standards

There are three types of development standards:

- **Minimum Development Standards:** the minimum standards an application is required to achieve in order to be approved by the City. The City agrees that, except for the Listed Minimum Development Standards, the Minimum Development Standards are discrete, measurable requirements. If an application meets the minimum development standards, then the application must be approved.
- **Listed Minimum Development Standards:** those Minimum Development Standards, listed in Exhibit F of the Development Agreement, that are based upon design principles or objectives that cannot be fully measured until an application is submitted. Listed Minimum Development Standards are identified in this DDCD with a thick blue vertical line to the right of a Development Standard number.
- **Alternative Development Standards:** specific and/or circumstantial standards that do not satisfy the Minimum Development Standards but are determined to be acceptable based upon design principles or objectives. An Applicant may elect to submit an application using Alternative Development Standards, provided that if the Planning Director does not recommend approval of the Alternative Development Standard or the City Council does not approve the Alternative Development Standard, then the Applicant may revert to the Minimum Development Standard and the application will then be measured solely on the grounds of whether it satisfies the applicable Minimum Development Standard.

A request for approval of an Alternative Development Standard/s may be made as part of a Sector Plan application. Alternative Development Standards may be approved by the City Council and are applicable to all or part of a sector as indicated on an approved Sector Plan. When considering an Alternative Development Standard, the Planning Commission and City Council shall give due consideration to the Guiding Principles, Planning Area Objectives and Alternative Development Standards Guidance as set forth in this DDCD. Where an Alternative Development Standard does not compromise the achievement of these goals, the Planning Commission and City Council are encouraged to approve the Alternative Development Standard.

Where one or more Alternative Development Standard is approved as part of a Sector Plan application, all subsequent Plats, Building Permits and Site Plans related to such approved Sector Plan shall comply with the approved Alternative Development Standard/s. Any approval by the City Council of any Alternative Development Standard in connection with an approved Sector Plan shall be applicable only to that Sector Plan and shall not be applicable to any other Sector Plan unless specifically so indicated by the City Council.

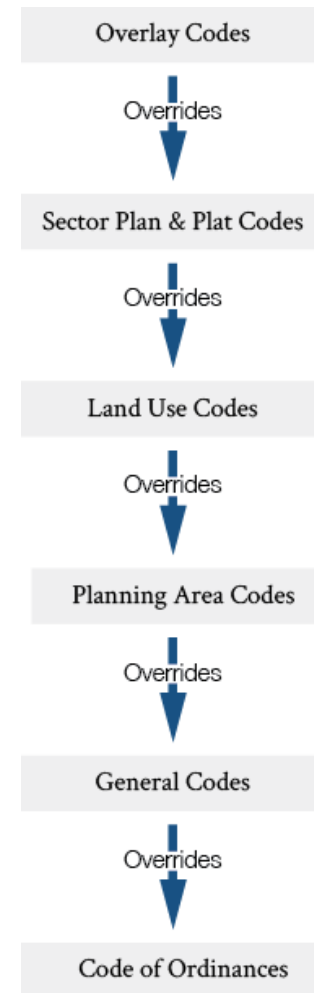
Where there is an inconsistency or conflict between the development standards or the applicable codes, the inconsistencies shall be resolved in accordance with Figure 2-2.

Nothing in this DDCD shall be construed to modify the meaning or interpretation of any applicable new ordinances as set forth in the Development Agreement.

2.3.4.3 Alternative Development Standard Guidance

Alternative Development Standards Guidance identifies the specific Guiding Principles, Planning Area Objectives, Code Purposes and associated objectives that the City Council shall use to consider approving a proposed Alternative Development Standard.

Figure 2-2 Code Hierarchy





2.4 Definitions and Abbreviations

All words, phrases, and terms, whether capitalized or not, used in this DDCD, but not otherwise defined herein, shall have the respective meanings described in Section 2 of the Development Agreement, this Section, or the Code of Ordinances. Any conflict or discrepancy between a definition in the Development Agreement, this DDCD, or the Code of Ordinances shall be resolved in favor of the Development Agreement first, this DDCD second, and the Code of Ordinances third. Words, phrases, and terms not defined in the Development Agreement, in this DDCD, nor in the Code of Ordinances shall be given their usual and customary meanings except where the context clearly indicates a different meaning.

All terms used herein, whether used in singular or plural form, shall be deemed to refer to the object of such term whether such is singular or plural in nature, as the context may suggest or require.

References to a defined term throughout this DDCD may be expressed through interchangeable word combinations. For example, "Major Roadway" may also be referred to as "Roadway, Major". Where the interchange of word combinations does occur, the meaning shall be considered to have the same meaning as the defined term.

The word "shall" is mandatory and not permissive; the word "may" is permissive and not mandatory.

Words used in the present tense include the future tense and words used in the future tense include the present tense.

2.4.1 Definitions

Note: Defined terms that have similar or related derivatives may be sorted or grouped by the object or subject matter for ease of reference.

100-Year Flood Event	The flood having a 1 percent chance of being equaled or exceeded in any given year.
100-Year Flood Event Floodplain	All land area that has been or may be inundated by water from any source as determined by the crest of a flood having a 1 percent chance of occurrence in one year for fully developed watershed conditions on drainage areas with greater than 64 acres.
2-Year Flood Event	A flood having a 50 percent chance of being equaled or exceeded in any given year.

2-Year Flood Event Floodplain	All land area that has been or may be inundated by water from any source as determined by the crest of a flood having a 50 percent chance of occurrence in one year for fully developed watershed conditions on drainage areas with greater than 64 acres.
25-Year Flood Event	A flood having a 4 percent chance of being equaled or exceeded in any given year.
25-Year Flood Event Floodplain	All land area that has been or may be inundated by water from any source as determined by the crest of a flood having a 4 percent chance of occurrence in one year for fully developed watershed conditions on drainage areas with greater than 64 acres.
5-Year Flood Event	A flood having a 20 percent chance of being equaled or exceeded in any given year.
5-Year Flood Event Floodplain	All land area that has been or may be inundated by water from any source as determined by the crest of a flood having a 20 percent chance of occurrence in one year for fully developed watershed conditions on drainage areas with greater than 64 acres.
Abutting	Having a common lot line with.
Accessory Structures	A structure such as pool, pergola, or shed associated with a single-family dwelling.
Accessway	A pedestrian, bicycle or multi-use path or trail, sidewalk or bikeway.
Accessway, Major	A multi-use accessway identified as a major accessway on Plan 7-1.
Activity Center	An identifiable grouping of non-residential uses such as, but not limited to, land designated as the Town Center Planning Area or other cohesive (retail/mixed use) development; corporate campus, educational campus, hospital, resort/tourist facility or regional park.
Activity Focal Point	An identifiable destination within a neighborhood cell such as, but not limited to, a neighborhood park, a HOA facility or a public transportation stop.
Activity Node	An identifiable non-residential use or cluster of uses that encourages social interaction such as, but not limited to land designated as a Neighborhood Center Planning Area, a school, a community facility, a community park or a HOA facility.



Adjacent	Directly across a street (excluding a major roadway) or alley.
Adjoining	Located next to, irrespective of whether they abut.
Alley	ROW that is used primarily for vehicular service access to the back or sides of lots otherwise abutting a street.
Applicant	Has the meaning set forth in the Development Agreement.
Application	Has the meaning set forth in the Development Agreement.
Assisted Living Facility or Elderly Housing, High Intensity	An assisted living facility or elderly housing use that has the physical appearance of a multi-family dwelling development.
Assisted Living Facility or Elderly Housing, Low Intensity	An assisted living facility or elderly housing use that has the physical appearance of a single-family dwelling development.
Athletic Field/Playfield	A recreation area for open-air games, including but not limited to a multi-purpose practice field, football field, soccer field and/or baseball/softball diamond. Bleachers or grandstands may be provided.
Bike Lane	A paved lane within the travelled way intended for the exclusive uses of bicycles and provided in addition to any lanes used by vehicular traffic.
Bikeway	Any public or private accessway that is exclusively intended for bicycle travel. Includes bike paths, bike lanes and bike trails.
Block	A unit of land bounded by streets or by a combination of streets, public accessways, parks, railroad ROW, streams, waterways or any other barrier to the continuity of development. For the purpose of this definition, the project boundary shall not be considered barrier to development.
Block Length, Maximum	The length of a block measured along the longest axis, as illustrated in Figure 2-4.
Bluff	An abrupt vertical change in topography of more than 10 ft. with an average slope steeper than 2 ft. of rise for every one foot of horizontal travel.
Buffer	An area of land used to physically and/or visually separate one use or lot from another.

Building Group	A collective group of attached dwellings.
Building Permit	An application prepared in accordance with Section 1.8. As used in this DDCD, Building Permit includes a Site Plan.
Camp, Day or Youth	A facility that provides supervised indoor and outdoor activities for children and young people, including but not limited to sports, arts and crafts, entertainment, recreation, educational activities, swimming and incidental food services.
Center	Land designated on the Master Framework Plan, a Sector Plan, Plat, or other plan as Town Center, Mixed Commercial & Business (including Large Format Retail Planning Sub Area and Mixed Use Employment Planning Sub Area), Neighborhood Center or Resort Planning Area.
Certified Arborist	An arborist certified by the International Society of Arboriculture.
City	Has the meaning set forth in the Development Agreement.
City Council	Has the meaning set forth in the Development Agreement.
Civic Space	A designated publicly accessible space with associated amenities that is designed to encourage and allow for the formal and/or informal gathering of people.
Class 1 Lighting	All outdoor lighting used for but not limited to outdoor sales or eating areas, assembly or repair areas, advertising and other signs, recreational facilities and other similar applications where color rendition is important.
Class 2 Lighting	All outdoor lighting used for but not limited to illumination for walkways, roadways, equipment yards, parking lots and outdoor security where general illumination of the grounds is the primary concern.
Class 3 Lighting	Any outdoor lighting used for decorative effects, including but not limited to architectural illumination, flag monument lighting, and illumination of trees, bushes, etc.
Club	An establishment or facilities used for social, educational or recreational purposes, for which membership is required for participation.
Cluster-style Mailbox	A type of mailbox, complying with the specifications of the USPS, where individual mailbox units are grouped together so that they are regarded as one unit.



Code	That certain type of code specified in Section 2.3.4.1 and the specific code in which the term is used. Where stated as "This Code" the definition shall mean that Section of the DDCCD.
Code of Ordinances	Has the meaning set forth in the Development Agreement.
Cohesive Development	Development where individual lots share access or use common facilities or spaces through recorded easement agreements, including, but not limited to, vehicular and pedestrian access.
Community Facility	A publicly owned or publicly leased facility or building which is primarily intended to service the recreational, educational, cultural, administrative, or entertainment needs of the community.
Contiguous	In relation to a lot, where at least one boundary line or portion of one lot touches a boundary line/s or point/s of another lot/s.
Cul-de-sac	A short, minor roadway having only one outlet to another street and terminating on the opposite end by a vehicular turnaround.
Dam Breach Zone	Has the meaning set forth in Stormwater Management Report attached as Exhibit I to the Development Agreement.
Dead-end Street	A street, other than a cul-de-sac, with only one outlet.
Development	The construction of one or more new buildings or structures on one or more building lots, the moving of an existing building to another lot, or the use of open land for a new use. Code of Ordinances
Development Agreement	Has the meaning set forth in the Development Agreement as "Agreement".
Development Standards for Specialized Areas	Has the meaning set forth in the Development Agreement.
Diameter at Breast Height	The diameter of a tree trunk measured 4.5 ft. above natural grade.

Direct Illumination	Illumination resulting from light emitted directly from a lamp, luminary or reflector, but not including light diffused through translucent signs or reflected from other surfaces such as the ground or building faces.
District	Has the meaning set forth in the Development Agreement.
Drainage and Erosion Control Design Manual	The <i>City of New Braunfels Drainage and Erosion Control Design Manual</i> , or successor or replacement document.
Drainage Way	A natural or artificial surface depression to which natural stream water or stormwater runoff gravitates and collectively forms a flow of water continuously or intermittently in a definite direction.
Drive Aisle	An identifiable vehicular travel path internal to a site providing ingress and egress to the site and/or within a parking lot providing access to parking stalls.
Dwelling Unit	A building or portion thereof, designed for separate, independent living for one or more persons, including permanent provisions for living, sleeping, eating, cooking and sanitation. Does not include accommodation services or lodging uses.
Dwelling, Multi-Family	A building or portion thereof, arranged, intended, or designed for occupancy by three or more families, being separate dwelling units and living independently of each other.
Dwelling, Single-Family	A single-family attached (townhouse) dwelling, single-family attached (duplex) dwelling, single-family detached dwelling, single-family detached (cluster) dwelling or single-family detached (zero lot line) dwelling.
Dwelling, Single-Family Attached (Townhouse)	A group of not less than three adjoining single-family dwellings that share a common wall with one or more single-family dwellings, with each dwelling unit located on a separate lot.
Dwelling, Single-Family Attached (Duplex)	A building with a common wall between dwellings that is arranged, intended, or designed for occupancy by two families living independently of each other in an attached structure.
Dwelling, Single-Family Detached	A detached building arranged, intended, or designed for occupancy by one family.



Dwelling, Single-Family Detached (Cluster)	A single-family dwelling located on a cluster lot.
Dwelling, Single-Family Detached (Zero-Lot Line)	A single-family dwelling that is built to abut one side lot line.
Edge of Riverbank	The first break in slope between the ordinary high water mark and the land area immediately above as defined by a water-formed change in topography.
Edge Zone	The part of the streetside between the furnishing zone and the travelled way that serves as a transition area and provides space for the door swing of vehicles in the parking lane, for parking meters and for overhang of diagonally parked vehicles – refer to Figure 2-3.
Encroachment Area	In relation to a single family dwelling, a rectangular area extending 5 feet into the required rear setback with a width equal to the widest part of dwelling where an Attached Patio may be located, as illustrated in Figure 21-2.
Entry Point, Principal	An access point as illustrated on an approved Sector Plan.
Esplanade Road	A roadway that is bordered on one side by a park, waterway or stream.
External Access Point	Has the meaning set forth in the Development Agreement.
Eye-level	5 ft., or 60 in., measured vertically above the ground surface.
FEMA 100-Year Floodplain	All land area that has been or may be inundated by water from any source as determined by the crest of a flood having a 1 percent annual chance event that is defined by FEMA maps and models.
Floodplain	All land area that has been or may be inundated by water from any source.
Floodway	The channel of a stream or waterway and the abutting land areas that shall be reserved in order to accommodate the FEMA 100-year floodplain without cumulatively increasing the water surface elevation more than 1 ft. or a lesser amount as defined by the City in accordance with FEMA regulations.

Frontage Zone	The part of the streetside between the throughway zone and the front lot line of abutting lots, that provides width for overhanging elements of adjoining buildings such as awnings, signs, bay windows, and may accommodate activities associated with adjoining uses, such as outdoor seating areas or merchant displays – refer to Figure 2-3.
Fully Shielded Fixture	Fixtures that are shielded in such a manner that light rays emitted by the fixture, either directly from the lamp or indirectly from the fixture, are projected below a horizontal plane running through the lowest point on the fixture where light is emitted.
Furnishing Zone	That part of the streetside between the throughway zone and edge zone that serves as a multipurpose buffer between the pedestrians and vehicular traffic and provides space for streetside amenities such as street trees, planting strips, street furniture, utility poles, sidewalk cafes, sign poles, signal and electrical cabinets, phone booths, fire hydrants, bicycle racks and bus shelters – refer to Figure 2-3.
Gated Neighborhood	A residential area where vehicular accessibility is controlled by the means of a gate, guard, barrier or similar improvements within or across a privately maintained ROW.
Gross Floor Area	The total floor area of all floors of a building, expressed in sq. ft., measured from the outside of the exterior walls or from the centerline of common walls. It does not include: <ul style="list-style-type: none"> ▪ internal ground and underground/basement parking or loading, servicing and maneuvering areas; ▪ building services, plant and equipment; ▪ access between floors (e.g. internal stairwells and elevator shafts); ▪ ground floor public lobby (for non-residential uses only); ▪ outdoor pedestrian malls; and ▪ unenclosed balconies/patios (whether roofed or not).
Height	The vertical distance of a structure measured from the average elevation of the finished grade surrounding the structure to the highest point of the structure. Code of Ordinances
High Density Residential Planning Area	Land designated on the Master Framework Plan, a Sector Plan, Plat or other plan as High Density Residential Planning Area with such land being developed in accordance with Section 10.1.



PART A

Section 2 How to Use this DDCD

Higher Education Overlay	Land designated on the Master Framework Plan, a Sector Plan, Plat or other plan as Higher Education Overlay.
HOA Facility	A public or private facility owned and maintained by a HOA for the use by its members.
Home Occupation	An occupation carried on in a dwelling unit, or in an accessory building to a dwelling unit, by a resident of the premises, which occupation is clearly incidental and secondary to the use of the premises for residential purposes. Code of Ordinances
Identified Stream	A stream identified on the Natural Environment & Stewardship Supporting Framework Plan.
Internal Circulation	A network of private driveways, drive aisles, circulation roads, maneuvering and queuing areas internal to a site that: <ul style="list-style-type: none"> provide access to a site from the street network; provide access to parking stalls/service areas; and distribute traffic between entrance/exit driveways, drive aisles and service areas.
Intersection	Location where two streets connect.
Landscape Plan	A plan prepared in accordance with Appendix 1, Section 1.9.
Lane Width	The distance between the face of one curb to the face of the other curb excluding the gutter section, or center of the lane marking to center of the lane marking, or combination thereof.
Large Format Retail Planning Sub Area	Land designated on the Master Framework Plan, a Sector Plan, Plat or other plan as Large Format Retail Planning Sub Area with such land being developed in accordance with Section 9.2.
Light Trespass	Spill light falling over lot lines that illuminate adjacent grounds or buildings in an objectionable manner.
Lot	An undivided tract or parcel of land which is, or in the future may be, offered for sale, conveyance, transfer or improvement, which is designated as a distinct and separate parcel, and which is identified by a tract, or lot number, or symbol in a duly approved subdivision Plat which has been properly filed of record.

Lot Line	The lines bounding a lot. Code of Ordinances
Lot Line, Front	The boundary between a lot and the street on which the lot fronts. Code of Ordinances
Lot Line, Rear	The lot line that is opposite and most distant from the front lot line. Code of Ordinances
Lot Line, Side	Any lot line that is not a front or rear lot line. A side lot line may be a part lot line, a line bordering on an alley or place or a side street line. Code of Ordinances
Lot, Cluster	A lot that contains one single-family detached (cluster) dwelling.
Lot, Depth	The length of a line connecting the midpoints of the front and rear lot lines. Code of Ordinances
Lot, Frontage	The length of street frontage between lot lines. Code of Ordinances
Lot, Interior	A lot with side lot lines that do not abut any street. Code of Ordinances
Lot, Parent	A lot that includes at least three cluster lots, shared access for cluster lots and common open space.
Lot, Width	The horizontal distance between side lot lines, measured at the front building line. Code of Ordinances
Low Impact Development	A stormwater management technique that seeks to reduce runoff volume and improve water quality by replicating natural hydrology processes.
Luminary	The complete lighting assembly, less the support assembly.
Masonry Wall	A wall that is constructed of brick, concrete or other highly durable building stone such as (but not limited to) granite, limestone or travertine.
Master Developer	Has the meaning set forth in the Development Agreement as "Owner".



PART A

Section 2 How to Use this DDCD

Master Framework Plan	Has the meaning set forth in the Development Agreement.
Mixed Commercial & Business Planning Area	Land designated as on the Master Framework Plan, a Sector Plan, Plat or other plan as Mixed Commercial & Business Planning Area with such land being developed in accordance with Section 9.2.
Mixed Use	The development of a lot, building or structure with two or more different types of uses designed, planned and constructed as a unit. Such types of uses include, but are not limited to, residential, office, retail, public uses, personal service or entertainment uses.
Mixed Use Employment Planning Sub Area	Land designated on the Master Framework Plan, a Sector Plan, Plat or other plan as Mixed Use Employment Planning Sub Area with such land being developed in accordance with Section 9.2.
Motion Sensing Security Lighting	A fixture designed, and properly adjusted, to illuminate an area around a residence or other building by means of switching on a lamp when motion is detected within a set area around the fixture, and switching the lamp off when the detected motion ceases, or after a set amount of time.
Multi-class Lighting	Any outdoor lighting used for more than one purpose, such as security and decoration, when those purposes fall under the definitions for two or more lighting classes as defined for class 1, 2 and 3 lighting.
Neighborhood	Land designated on the Master Framework Plan, a Sector Plan, Plat or other plan as High Density Residential or Neighborhood (Mixed Density) Residential Planning Area.
Neighborhood (Mixed Density) Residential Planning Area	Land designated on the Master Framework Plan, a Sector Plan, Plat or other plan as Neighborhood (Mixed Density) Residential Planning Area with such land being developed in accordance with Section 10.2.
Neighborhood Cell	A residential area that shares a common identity focused around an activity focal point; or defined by physical barriers, such as major roads and natural features.
Neighborhood Center Planning Area	Land designated on a Sector Plan, Plat or other plan as Neighborhood Center Planning Area with such land being developed in accordance with Section 9.3.
Non-Park Use	A use which is not a park use, including but not limited to a commercial enterprise and/or major infrastructure.

Non-Residential Lot	A platted lot that contains, or is proposed to contain, a non-residential use. For the purpose of this definition, a non-residential use excludes a park use.
Non-Residential Use	A use identified in Section 12.2 as a non-residential use.
Oak Run Lot Line	The common lot line between the Project and Oak Run Estates as identified on Plan 3-1.
Open Space, Common	Open space or recreational area, within or related to a development, intended for the exclusive use and enjoyment of residents or occupants of the development, and their guests.
Open Space, Private	Open space or outdoor living area, intended for the private use and enjoyment of the resident/s or occupant/s of a dwelling unit or building. Private open space may include, but is not limited to, yard areas, landscaped areas, private patios, balconies, courtyards or similar areas designated for outdoor living, recreation or retention of an area in its natural state.
Outdoor Light Fixture	<p>All outdoor illuminating devices, reflective surfaces, lamps and other devices, either permanently installed or portable, which are used for illumination or advertisement. Such devices shall include, but are not limited to, search, spot and floodlights for:</p> <ul style="list-style-type: none">▪ buildings and structures;▪ recreational areas;▪ parking lot lighting;▪ landscape and architectural lighting;▪ billboards and other signs (advertising or other);▪ street lighting, excluding antique street and pedestrian lighting as approved by the City or such other person as they may authorize;▪ product display area lighting;▪ building overhangs and open canopies; and▪ security lighting.
Patio, Attached	A private open space that is roofed, or unroofed with a code required hand rail, that is attached to a single family dwelling, excluding balconies. Unattached, roofed patios shall follow Accessory Structure standards.



Park	<p>The use of premises for active and passive recreation activities and enjoyment, such as playing fields, playgrounds, trails and gardens. May include facilities for park users such as kiosks, pavilions/shade structures, playscapes, bike racks, parking areas and amenities and integrated stormwater conveyance and management.</p> <p>Park includes six sub-categories, each being further defined herein:</p> <ul style="list-style-type: none"> ▪ regional park; ▪ community park; ▪ neighborhood park; ▪ linear open space park; ▪ landscape amenity park; and ▪ pocket park.
Park Activation Source	An improvement that promotes utilization and activation of a park. May include, but is not limited to, walkways, bikeways, playscapes, grills, picnic facilities, seating, interactive public art, informal and formal sports fields, and open play areas.
Park Lot	A platted lot that contains, or is proposed to contain, a park use.
Park Planning Area	Land designated on the Master Framework Plan, a Sector Plan, Plat or other plan as Park Planning Area with such land being developed in accordance with Section 11.1.
Park, Community	<p>A public or private park that is intended to serve residences with a 1-2 mile catchment, providing a variety of social and community gatherings, indoor and outdoor recreational facilities and park experiences.</p> <p>Examples of a community park may include:</p> <ul style="list-style-type: none"> ▪ Sports Park: a park intended to provide a variety of structured or formal recreation opportunities, such as team competitions, physical skills development and training. May include multi-purpose community facilities. ▪ Active Use Park: a park intended to provide facilities for active recreation such as sport courts, playgrounds, open playfields, trails, gathering areas and group picnic facilities.

Park, Community (cont'd)	<ul style="list-style-type: none"> ▪ Informal Use Park: A park intended to provide a variety of casual recreational opportunities such as play, picnicking, and large social or community gatherings. Informal use parkland may also protect or enhance landscape amenity values. ▪ Urban Common Park: A park intended to provide for intensive community use and located within highly urbanized settings, such as high-density residential area, civic spaces or a town center setting.
Park, Landscape Amenity	A public or private small park that is intended to protect and/or enhances an area's scenic or visual amenity value, such as scenic overlooks, landmarks and attractive vegetation along transport corridors.
Park, Linear Open Space	A public or private open park that provides connections for recreation and commuter use that generally follow natural or man-made features such as creeks or easements. Serve as linear greenways that preserve open space and link to other parks, schools, and community facilities. An indirect benefit can be connections for maintenance of riparian corridors.
Park, Neighborhood	A public or private park that is intended to serve as an activity focal point for neighborhoods and centers within the project, providing a balance of active and passive recreational opportunities such as playgrounds, sport courts, informal play fields and open space, trails and picnic areas.
Park, Pocket	A small public or private park.
Park, Regional	A public park of regional importance or significance, due to its location and/or natural characteristics including habitat, geological formations, aesthetic beauty, water conservation and/or flood protection.
Paseo	A publicly accessible walkway that provides shortcuts between buildings and through the block, connecting street frontages to rear parking areas, midblock courtyards, alleys or other streets.
Path	A public or private paved off-street accessway located within a park, lot, or access easement, intended for pedestrian travel, regardless of whether such an accessway may be designated for non-exclusive use by pedestrians.



Path, Bike	A public or private paved accessway, located within either the street ROW but physically separated from the vehicular travelled way, or off-street, intended for the exclusive use of bicycles.
Path, Multi-use	A public or private paved off-street accessway intended for shared use by non-motorized travel, including but not limited to walking, hiking, jogging and cycling.
Pavilion/Shade Structure	An open air, roofed structure that provides a shaded area.
Planning Commission	Has the meaning set forth in the Development Agreement.
Planning Director	Has the meaning set forth in the Development Agreement.
Plat	Either or both a Preliminary Plat and Final Plat.
Plat Note	A notation on the face of a Plat that affects future development.
Plat, Final	A plan prepared in accordance with Appendix 1, Section 1.5.
Plat, Preliminary	A plan prepared in accordance with Appendix 1, Section 1.4.
Play Court	A recreation area for open-air games, including but not limited to tennis, volleyball and/or basketball. Bleachers or grandstands may be provided.
Playscape	A freestanding, integrated play apparatus, exclusively for use by children.
Plaza	A publicly accessible gathering space that is integrated into the Street network and may allow vehicular, bicycle and/or pedestrian travel.
Precinct	A developable area of land identified on a Sector Plan.
Project	Has the meaning set forth in the Development Agreement.
Public Common Area	A small format publicly accessible space on private property with associated amenities that is designed to allow for formal and/or informal use.
Public Safety Facility	A government facility for public safety and emergency services, including fire, EMS, police and related administrative facilities.

Recreation Establishment, Commercial Indoor	A private indoor facility, with or without seating for spectators, and providing facilities for a variety of individual, organized or franchised sports, including but not limited to basketball, gymnastics, wrestling, soccer, tennis, volleyball, racquetball or handball. Such facilities may also provide other regular organized or franchised events, health and fitness club facilities, swimming pool, bowling alley, snack bar, restaurant, retail sales of related sports, health or fitness items and other support facilities. Does not include any other indoor recreation facility that may be herein defined separately.
Recreation Establishment, Commercial Outdoor	A private open or partially enclosed facility, with or without seating for spectators, and providing facilities for a variety of individual, organized or franchised sports, including but not limited to basketball, soccer, tennis and volleyball. Such facilities may also provide other regular organized or franchised events, swimming pool, batting cages, snack bar, retail sales of related sports, health or fitness items and other support facilities. Does not include any other outdoor recreation facility that may be herein defined separately.
Reserve Strip	A privately-owned strip of land abutting a public ROW or easement, preventing the extension of such ROW or easement without the written express consent of the owner of such land.
Residential Density	The number of dwelling units divided by the number of acres within each planning area (identified within each individual sector), excluding the acreage for regional parks, community parks, linear open space parks and major roadways ROW within such planning area (identified within each individual sector).
Residential Lot	A platted lot that contains, or is proposed to contain, a residential use.
Residential Use	A use identified in Section 12.1 as a residential use.
Residential Zone or Use Outside the Project Limits	A lot, within the corporate limits of the City, and outside the boundary of the project, and classified as being within one of the following zoning districts: R-1A-43.5 single-family district, R-1A-12 single-family district, R-1A-8 single-family district, R-1A-6.6 single-family district or R-2A single-family and two family district or a residential use outside of both the corporate limits of the City and the project.



Resort Planning Area	Land designated on the Master Framework Plan, a Sector Plan, Plat or other plan as Resort Planning Area with such land being developed in accordance with Section 9.4.
Retail Establishment	An establishment in which 60 percent or more of the GFA is devoted to the sale or rental of goods, including stocking, to the general public for personal or household consumption. The term includes services incidental to the sale or rental of such goods.
Retail Establishment, Large	A retail establishment or any combination of retail establishments in a single building or in separate but adjoining buildings occupying more than 25,000 sq. ft. GFA.
Retail Establishment, Liner	A row of small retail establishments sharing a common wall with one or more other establishments/tenancies located on one or more contiguous lots.
Retail Establishment, Medium	A retail establishment or any combination of retail establishments in a single building or in separate but adjoining buildings occupying 10,001 – 25,000 sq. ft. GFA.
Retail Establishment, Small	A retail establishment, or any combination of retail establishments in a single building or in separate but adjoining buildings, occupying equal to or less than 10,000 sq. ft. GFA.
Right of Way	A lot or parcel of land occupied, or intended to be occupied, by a public road, street or alley.
River Access Management Plan	A report prepared in accordance with Appendix 1, Section 1.15.
Roadway, Major	Any road identified as an expressway, parkway, arterial or collector road the City's adopted <i>Regional Transportation Plan</i> .
Roadway, Minor	A collector road, local street or alley not on the City's adopted <i>Regional Transportation Plan</i> .
Sector	Has the meaning set forth in the Development Agreement.
Sector Plan	An application prepared in accordance with Appendix 1, Section 1.3 or an approved Sector Plan depending on the context of the term's usage.
Sector Plan Note	A notation on the face of a Sector Plan that affects future development.

Security Lighting	Lighting designed to illuminate a lot for the purpose of visual security. This includes fully shielded lighting designed to be left on during nighttime hours as well as motion sensing lighting fixtures.
Sensitive Feature	Karst features classified as sensitive by TCEQ or habitat identified by a qualified ecologist, in accordance with US Fish and Wildlife Service, high value trees as defined by a Tree Preservation Plan or any other applicable federal or state agency's standards.
Service Industry Establishment	An establishment or place of business primarily for industrial activities that have no external air, noise or odor emissions and can be suitability located with non-industrial uses, including but not limited to audio visual repair, film processing, jewelry making, locksmith, shoe repairs.
Setback Line	A line within a lot parallel to and measured from a corresponding lot line, establishing the minimum required yard and governing the placement of structures and uses on the lot.
Shade Tree	A tree identified in Appendix 5, Section 5.1 & 5.2 as a shade tree.
Sidewalk	A public or private paved accessway located within the street ROW or access easement, abutting, but physically separated from the vehicular travelled way, intended for pedestrian travel, regardless of whether such an accessway may be designated for non-exclusive use by pedestrians.
Sight Distance Triangle	The triangular area formed by a diagonal line connecting two points located on intersecting ROW lines.
Sign	Any device or surface on which letters, illustrations, designs, figures or symbols are painted, printed, stamped, raised, projected or in any manner outlined or attached and used for advertising purposes.
Sign, Area Directional	An off-premise sign designed with panels that may be replaced or changed to advertise multiple entities, services, real estate, businesses or other content and that direct, with an arrow, for instance, persons to those entities.



Sign, Banner	Any sign made of fabric, plastic or other non-rigid material designed to hang from rope or wire to advertise a business, service, or special event and not mounted in a permanent rigid frame.
Sign, Billboard	An off-premise sign on any flat surface erected on a framework or on any structure, or attached to posts and used for, or designed to be used for, the display of bills, posters, or other advertising material.
Sign, Electronic Message	A sign capable of displaying words, symbols, figures or images that can be electronically or mechanically changed by remote or automatic means.
Sign, Freestanding	A sign permanently attached to or constructed in or on the ground.
Sign, High Profile Monument	A sign that is attached directly to the ground or is supported by a sign structure that is placed on or anchored in the ground.
Sign, Low Profile Pole	A sign that is mounted on one or more freestanding poles or other support so that the bottom edge of the sign face is not in direct contact with a solid base or the ground.
Sign, Monument	A sign which is attached directly to the ground or is supported by a sign structure that is placed on or anchored in the ground and is independent from any building or other structure.
Sign, Off-premise	An outdoor sign advertising a business activity or use not principally offered, sold, or conducted upon the same premises on which the sign is located.
Sign, On-premise	An outdoor sign advertising a business or use principally offered, sold or conducted upon the same premises on which the sign is located. On-premise signs include: <ul style="list-style-type: none"> signs advertising a real estate development located on premises being developed or proposed for development; signs identifying a real estate development which are located at the entrance of such development; and signs located on premises where model homes are constructed.
Sign, Pole or Pylon	A freestanding sign that is supported by one or more freestanding shafts, posts, or piers extending from and permanently attached to the ground by a foundation or footing, with a clearance between the ground and the sign face.

Signage Plan	A plan prepared in accordance with Appendix 1, Section 1.14.
Site Plan	A plan prepared in accordance with Appendix 1, Section 1.7.1.
Site Plan Note	A notation on the face of a Site Plan that affects future development.
Special Use Permit	A permit issued in accordance with §144-2.1 of the Code of Ordinances
Specialized Area	Has the meaning set forth in the Development Agreement.
Specialized Area Plan	A plan prepared for a Specialized Area in accordance with Appendix 1, Section 1.3.1.
Story	Part of a building included between the surface of one floor and the surface of the ceiling above. A top story attic is a half story when the main line of the wall plates is not above the middle of the interior height of such story. A basement that is no more than 4 ft. above average grade shall not be considered a story. Code of Ordinances
Street	A public or private ROW that provides primary vehicular movement, whether designated as a street, highway, thoroughfare, parkway, avenue, boulevard, road, drive aisle, alley or however otherwise designated.
Street View	Visible at eye-level on the closest sidewalk on an abutting street, excluding an alley.
Street, Private	A private vehicular accessway, including an alley, that is shared by and that serves two or more lots, which is not dedicated to the public, and which is not publicly maintained.
Streetside	The part of the ROW between the back of the curb and the front lot line of abutting lots – refer to Figure 2-3.
Supporting Framework Plan	A plan prepared in accordance with Appendix 1, Section 1.2.
Temporary Lighting	Lighting which will not be used for more than one 45-day period within a calendar year. Temporary lighting is intended for uses that by their nature are of limited duration; e.g. holiday decorations, civic events, or construction projects.



PART A

Section 2 How to Use this DDCD

Throughway Zone	The part of the streetside between the frontage zone and the furnishing zone in which pedestrians and bicyclists travel, including sidewalks and bike paths – refer to Figure 2-3.
TIA Update	A report prepared in accordance with Appendix 1, Section 1.16.3.
TIA Worksheet	A report prepared in accordance with Appendix 1, Section 1.16.2.
Total Outdoor Light Output	The maximum total amount of light, measured in lumens, from all outdoor light fixtures on a lot. For lamp types that vary in their output as they age (such as high pressure sodium and metal halide), the initial output, as defined by the manufacturer, is the value to be considered.
Town Center Frame Overlay	Land designated on the Master Framework Plan, a Sector Plan, Plat or other plan as Town Center Frame Overlay.
Town Center Planning Area	Land designated on the Master Framework Plan, a Sector Plan, Plat or other plan as Town Center Planning Area with such land being developed in accordance with Section 9.1.
Trail	A public or private unpaved off-street accessway, that is intended for pedestrian travel, regardless of whether such an accessway may be designated for non-exclusive use by pedestrians.
Trail, Bike	A public or private unpaved off-street accessway that is intended for the exclusive use of bicycles.
Trail, Multi-Use	A public or private unpaved off-street accessway that is intended for shared, non-motorized travel, including but not limited to walking, hiking, jogging and cycling.
Travelled Way	The part of the ROW between curbs, including lanes, medians, on-street parking, and bike lanes.
Tree Protection Plan	A plan prepared in accordance with Appendix 1, Section 1.12.
Tree Replacement Plan	A plan prepared in accordance with Appendix 1, Section 1.13.
Tree Survey	A plan prepared in accordance with Appendix 1, Section 1.11.
Tree Survey, Preliminary	A plan prepared in accordance with Appendix 1, Section 1.10.

Tree, High Value	Any tree, identified in Appendix 5, Sections 5.1, 5.2 & 5.3 having a minimum 8 in. caliper measured 4.5 ft. above the ground (DBH), and in good health with no signs of disease.
Tree, Low Value	Any tree that is not a high value tree.
Unshielded Fixture	A fixture that allows light to be emitted above the horizontal directly from the lamp or indirectly from the fixture or a reflector.
Urban Forester	The Urban Forester, City of New Braunfels, Texas.
View Fencing	A fence having a regular pattern that is between 30-80 percent permeable to both light and air when viewed perpendicular to the plane of the fence.
Walkway	Any public or private accessway that is intended for pedestrian travel, regardless of whether such an Accessway may be designated for non-exclusive use by pedestrians. Includes sidewalks, paths, trails and multi-use paths and trails.
Wholesale Trade Establishment	An establishment or place of business greater than 50,000 sq. ft. GFA, primarily engaged in selling and/or distributing merchandise to retailers; to industrial, commercial, institutional, or professional business users, or to other wholesalers; or acting as agents or brokers and buying merchandise for, or selling merchandise to, such individuals or companies.

Figure 2-3 Streetside Definitions

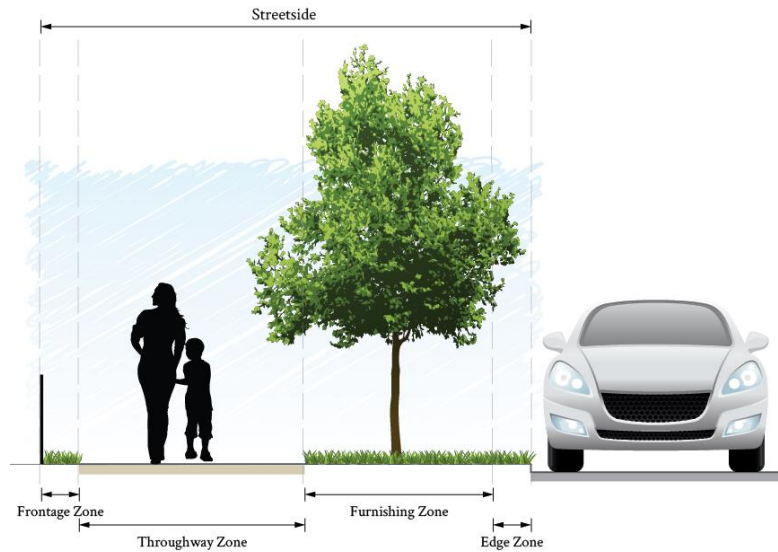
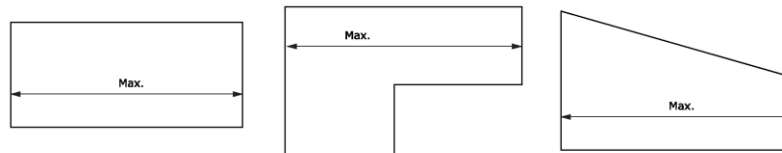


Figure 2-4 Measurement of Maximum Block Length



Maximum block length applies to the longest axis of a block

2.4.2 Abbreviations

BMP	Best Management Practice
DDCD	Development and Design Control Document (this DDCD)
DBH	Diameter at Breast Height
ETJ	Extra Territorial Jurisdiction
FEMA	Federal Emergency Management Agency
ft.	Foot/Feet
GFA	Gross Floor Area
NBHD	Neighborhood
HOA	Home Owners Association
IESNA	Illuminating Engineering Society of North America
in.	Inch/Inches
ITE	Institute of Transportation Engineers
LOS	Level of Service
NBU	New Braunfels Utilities
POA	Property Owners Association
PHT	Peak Hour Trips
ROW	Right of way
SH	State Highway
sq. ft.	Square Foot/Square Feet
TCEQ	Texas Commission on Environmental Quality
TIA	Traffic Impact Assessment (or Analysis)
US	United States
USACE	United State Army Corps of Engineers
USPS	United States Postal Service



PART B

GUIDING PRINCIPLES



3 Development Pattern

3.1 Principle

Create a new community that will complement and enhance the existing qualities of the City, including its natural environment, economy and overall Texas Hill Country character.

3.2 Objectives

The objectives in developing the project are to:

- I. Create a community that is supported by a regional center that includes a town center and a range of retail, business, educational, institutional and, community facilities and high-density residential uses.
- II. Provide a hierarchy of defined centers that integrate a range of residential and non-residential uses and are connected through a pedestrian and bicycle network – refer to Plan 4-1 and Plan 5-2.
- III. Develop contemporary neighborhoods that provide a mix of housing types and are each organized around activity focal points.
- IV. Create a compact, self-contained development pattern that makes efficient use of the land - refer to Plan 3-1.
- V. Design the community to respond to the natural topography, vegetation and environmental constraints and carry these themes through the development of the entire community.
- VI. Create a convenient and safe network of streets, bikeways and walkways.
- VII. Support future public transit that connects the project to the City.
- VIII. Protect sensitive areas of the ecosystem.
- IX. Create a community character and landscape that reflects the vernacular of the Texas Hill Country.



PART B

Section 3 Development Pattern

Plan 3-1 Development Pattern Supporting Framework Plan



Plan 3-1
Development Pattern Supporting Framework Plan

December 2023



4 Natural Environment & Stewardship

4.1 Principle

Work towards a sustainable future where the economic and social needs of the community are balanced with a healthy ecosystem.

4.2 Objectives

The objectives in developing the project are to:

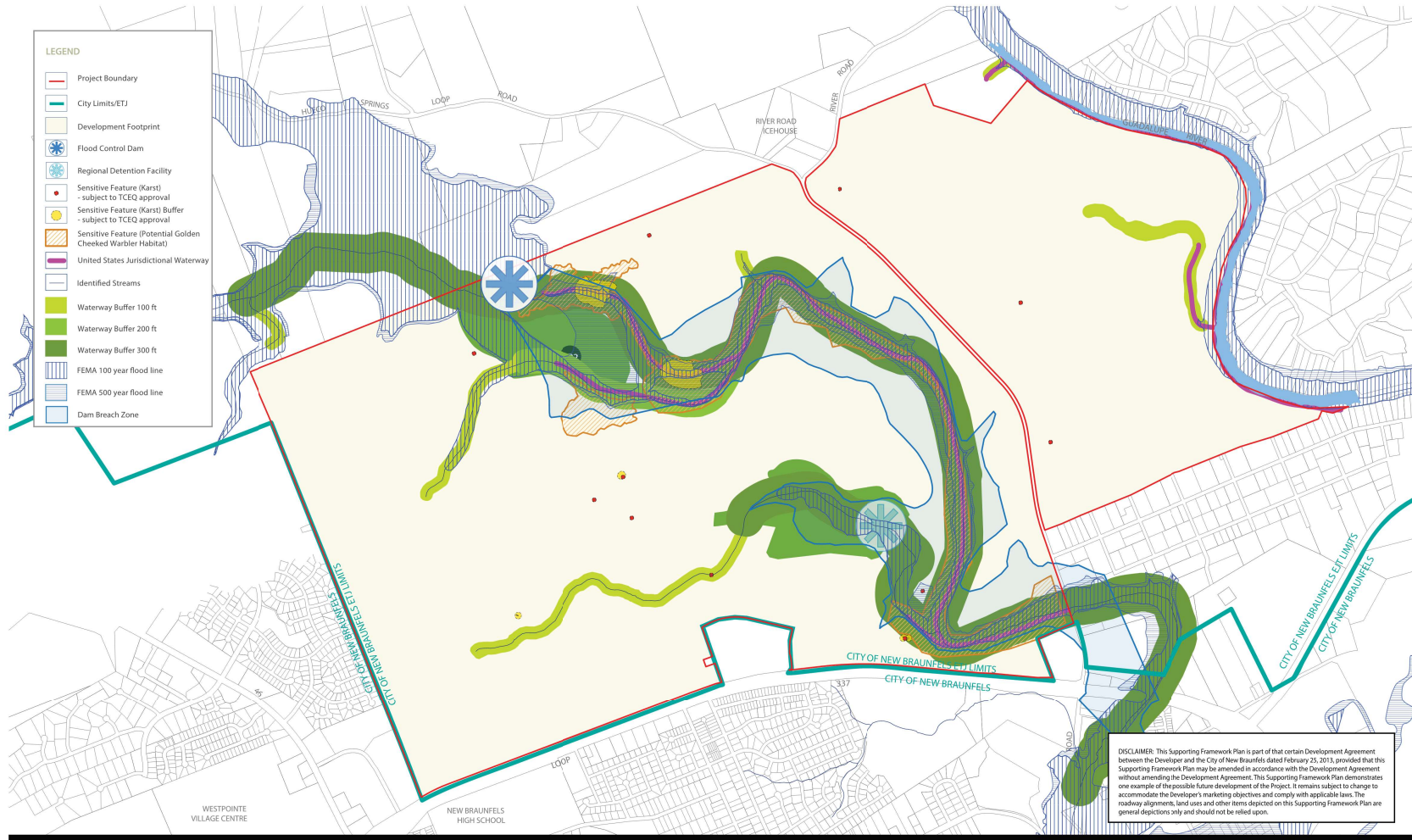
- I. Establish a sustainable approach to design and construction.
- II. Encourage economically feasible best practices in energy conservation, water cycle management, vegetation and habitat conservation and creation, waste reduction and climate responsive design.
- III. Create a system of public and private landscapes that reflect the natural themes and images of the Texas Hill Country.
- IV. Develop the riparian corridors within the community to create vegetation and habitat rich edges to neighborhoods and centers – refer to Plan 4-1.
- V. Extend vegetation patterns from riparian corridors into adjacent neighborhoods and centers.
- VI. Manage the development of the Blieders Creek and Guadalupe River watersheds within the project, and support the objectives of the Edwards Aquifer Recovery Implementation Program (EARIP) by minimizing erosion, and quickly restoring surface water runoff to the ground water table.
- VII. Implement low impact development techniques and integrated stormwater management measures to reduce the demand on water and drainage infrastructure.
- VIII. Manage streams and watersheds within the project to maintain pre-development water quality and in-stream and riparian values, while providing for nature-based recreation opportunities for residents and visitors – refer to Plan 41.
- IX. Develop energy efficient neighborhoods by utilizing climate responsive subdivision design and lot layouts.
- X. Work towards implementing green power sources as the economic viability of such technology becomes readily available to the market.
- XI. Apply best practices to mitigate light pollution.
- XII. Promote building design that encourages sustainable design principles that seek to minimize requirements for cooling, lighting and energy, and are responsive to the climatic conditions and natural geography.



PART B

Section 4 Natural Environment & Stewardship

Plan 4-1 Natural Environment & Stewardship Supporting Framework Plan



Plan 4-1
Natural Environment & Stewardship Supporting Framework Plan

December 2023



VERAMENDI
TRUE TEXAS HILL COUNTRY LIVING



5 Community Identity, Health & Diversity

5.1 Principle

Create a new community around a diverse mix of civic, commercial and public activities that complement and enhance the City's 'home town feel'.

Create an active and engaged community environment where each resident is connected throughout the project's centers and neighborhoods, and existing City residents feel welcome to utilize the community's cultural, entertainment, recreation, employment and education facilities.

Provide a range of quality community services and facilities that provide the same strong sense of identity, safety and security enjoyed by other residents of the City.

5.2 Objectives

The objectives in developing the project are to:

- I. Respect and enhance the existing strengths and character of the City.
- II. Create an environment where residents enjoy the benefits of a balanced community with a distinct sense of place and identity, community cohesiveness and enviable lifestyle.
- III. Create neighborhoods and centers that provide a high level of amenity and safety through the use of contemporary urban design principles.
- IV. Create a rich fabric of neighborhoods, each with their own diversity of living options and housing types, which are attractive to residents at all stages of their lives.
- V. Provide a range of community services and facilities, including emergency services and schools, that meet the needs of the community.
- VI. Create a wide variety and equitable distribution of attractive, functional parks, active and passive recreation, formal sports fields, cultural pursuits and community facilities, which encourage an active lifestyle and a sense of community – refer to Plan 5-1 and Plan 5-2.
- VII. Protect and enhance the scenic landscape of the Texas Hill Country and essential elements of the community that are valued and enjoyed by residents and visitors.



PART B

Section 5 Community Identity, Health & Diversity

Plan 5-1 Community Identity, Health & Diversity Supporting Framework Plan



Plan 5-1
Community Identity Framework Plan

December 2023



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Plan 5-2 Community Identity, Health & Diversity (Park) Supporting Framework Plan



Plan 5-2
Community, Identity, Health & Diversity (Parks) Supporting Framework Plan

December 2023



6 Economic Activity & Employment Centers

6.1 Principle

Create retail, business, educational, institutional and tourism centers and facilities that will provide investment opportunities for residents and contribute to the regional economy of the City.

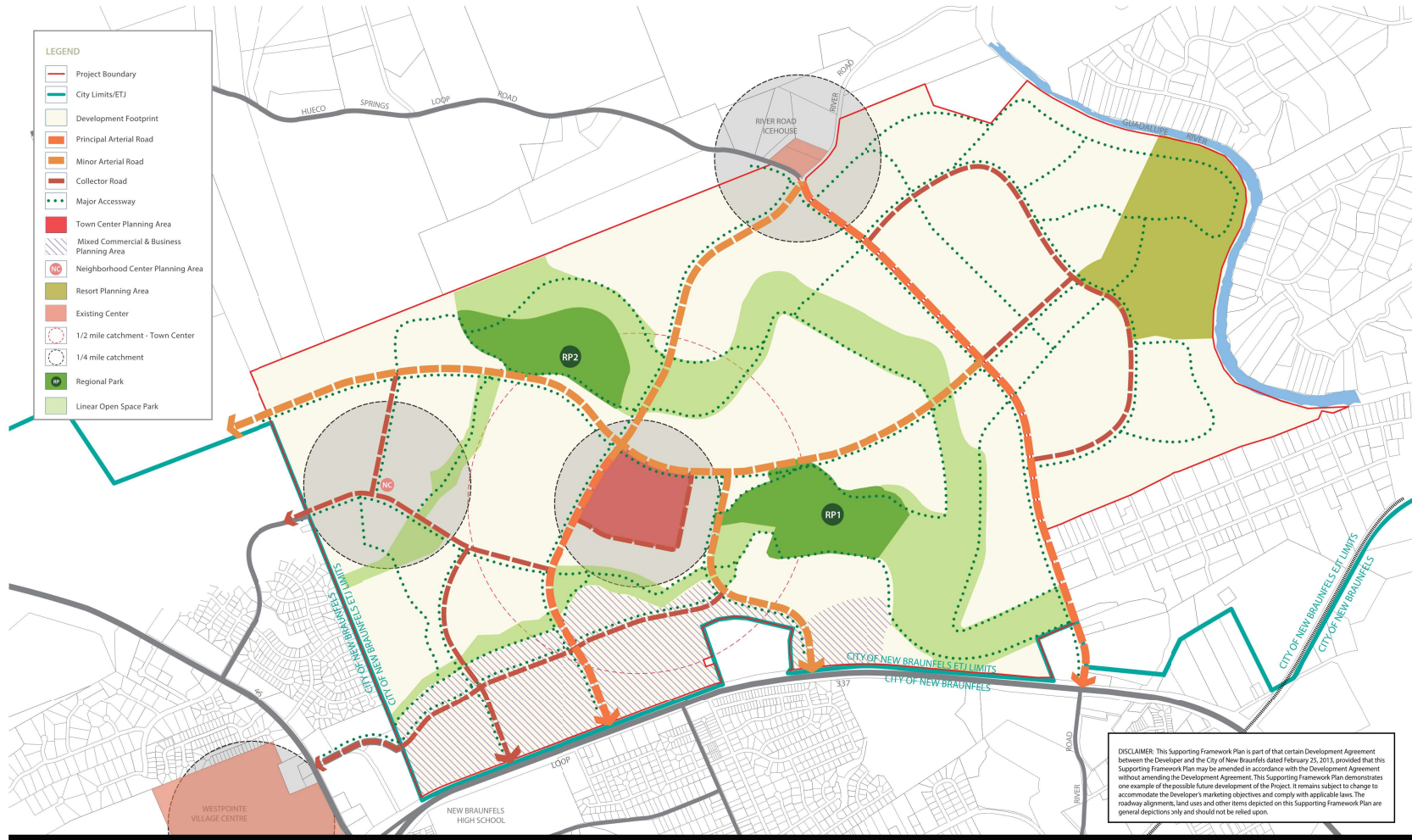
6.2 Objectives

The objectives in developing the project are to:

- I. Contribute to a largely self-sustaining local economy, which can accommodate a range of business types from corporate headquarters to home businesses that can compete regionally and nationally for business.
- II. Contribute to a balanced employment profile, including professional, service and trade sectors, and facilitate real employment outcomes for a variety of age groups.
- III. Make a positive contribution to the City's economic competitiveness via reliable and timely access to educational opportunities.
- IV. Create an employment complex throughout a hierarchy of centers that include retail, business, educational and institutional uses that will become the focus for coordinated public and private sector investment.
- V. Develop the destination town center to cater to the needs of new residents, major employers, students, workers and visitors. It will provide a different experience and complement the City's historic, civic and tourist-orientated downtown by providing alternate economic development opportunities that support the evolving needs and growth of the City. This will be achieved through a flexible approach that is respectful of the role of downtown but cognizant of contemporary requirements for retailing, commercial services and residential development not presently catered for.
- VI. Provide year-around tourism utilizing the project's scenic amenity and nature-based recreational values.



Plan 6-1 Economic Activity & Employment Supporting Framework Plan



Plan 6-1
Economic Activity & Employment Centers Supporting Framework Plan

December 2023



7 Access & Connectivity

7.1 Principle

Create a convenient and safe network of streets, bikeways and walkways.

Provide a compact center with density that will support future public transit and contribute to a cohesive public realm.

7.2 Objectives

The objectives in developing the project are to:

- I. Establish a hierarchy of streets that are efficient in both vehicular movement and circulation, and provide street spaces that form an integral part of the community's public realm, being:
 - SH Loop 337, which connects the project to the City and the immediate region; accommodates project, City and regional transit; and provides accessways within a landscaped frontage that announces the community;
 - principal and minor arterials that move vehicular, bicycle and pedestrian traffic efficiently through the project and connect to the City's arterial system; provide tree-lined landscaped street spaces that define the edges of neighborhoods and centers; and facilitate future public transit;
 - collector roads through centers that establish a network of streets and sidewalks that connect and integrate retail and commercial areas with the high density residential development within a single urban center; and provide tree-lined landscaped street spaces with convenient short term parking;
 - a retail-focused promenade (or equivalent) in the Town Center that creates a signature street and pedestrian promenade that is connected to secondary plazas and parks, with a street landscape that attracts residents and visitors to the adjoining shops, restaurants and community activities;
 - neighborhood collector streets that provide the transition between centers and the surrounding neighborhoods;
 - local streets that provide circulation within neighborhoods and multiple connections between neighborhoods; have reduced width to respond to the scale of the neighborhoods; and have sidewalks separated from the curb by planting strips that create landscaped street spaces; and
 - paseos that provide opportunities for pedestrian streets without cars.
- II. Establish an effective, efficient and integrated transportation system that will provide:
 - a driving, walking, biking and public transportation system that connects the integral elements of the community – refer to Plan 7-1;
 - a compact development pattern that places the maximum number of people within walking distance to the Town Center, employment centers and institutions to strengthen the degree of self-containment within the community; and
 - major employment centers efficiently linked by major transportation corridors to maximize transportation efficiency – refer to Plan 5-1.
- III. Establish higher density residential areas around employment centers to place to the maximum number of people within walking distance of future public transit, and pedestrian and bicycle networks.



PART B

Section 7 Access & Connectivity

Plan 7-1 Access & Connectivity Supporting Framework Plan



Plan 7-1
Access & Connectivity Supporting Framework Plan

December 2023



8 Infrastructure & Services

8.1 Principle

Provide efficient water, wastewater, drainage, electricity, natural gas and telecommunication infrastructure and encourage economically feasible best practice initiatives for reducing energy, waste and water use.

8.2 Objectives

The objectives in developing the project are to:

- I. Coordinate and integrate the delivery of infrastructure in a way that maximizes self-sufficiency.
- II. Provide infrastructure and utility services in a timely, cost effective and equitable manner at a desirable level of service.
- III. Work collaboratively with NBU in the provision and joint funding of new water and wastewater infrastructure as required by the Utility Construction Cost Sharing Agreement, and support NBU's long-term master planning for water, wastewater and electrical services.
- IV. Provide for the integrated management of stormwater in order to:
 - improve flooding mitigation;
 - maintain the environmental values of receiving waters;
 - promote the use of low impact development strategies where feasible;
 - incorporate the use of natural stream corridors and natural channels within the development; and
 - recognize community benefit.
- V. Provide infrastructure and utility services that are unobtrusive and visually complementary.



PART C

PLANNING AREA OBJECTIVES

9 Centers

Centers are the focus of economic and community service delivery, employment, tourism, meeting places and higher density living within the project. A hierarchy of complementary centers, each with their own positive identity, is integrated throughout the project and effectively connected by way of an attractive public realm and pedestrian and cycle network.

9.1 Town Center Planning Area

The Town Center Planning Area is the focus of public life within the project – a place that defines the identity of the community and gives pride to its residents and employees.

9.1.1 Objectives

The objectives in developing the Town Center Planning Area are to:

- I. Establish an urban center with a combination of buildings, spaces and activities that collectively create a destination shopping area within the project's trade area.
- II. Organize the center around a pedestrian-oriented promenade (or equivalent) and plazas to form a public realm that will extend into the adjacent high-density residential neighborhood/s.
- III. Utilize the ground level pedestrian frontage for shops, restaurants, and sales offices, with upper floors used for a variety, offices, educational, community, entertainment and residential uses.
- IV. Create buildings that are in scale with pedestrian areas in the Town Center and compatible with adjacent development.
- V. Configure buildings, streets, civic spaces and parks to form physical and visual connections with adjacent centers and neighborhoods.
- VI. Utilize on-street parking, as well as surface parking lots and parking structures screened from streets and other public areas by buildings and/or landscaping.
- VII. Utilize shared parking to reduce overall parking requirements.
- VIII. Provide tree-lined streets that create an inviting public realm, facilitate outdoor dining opportunities and provide strong vehicular, pedestrian and biking linkages within the center and connections to surrounding centers and neighborhoods.
- IX. Utilize climate responsive landscaping that provides shade in the summer, allows sun in the winter, and supplements the natural drainage system on the site.
- X. Encourage green development practices to reduce energy use, conserve water and use of all readily available modes of transportation.
- XI. Efficiently utilize physical infrastructure and community facilities.

The Permitted Land Use Matrix, which identifies all land uses permitted within the Town Center Planning Area, is included in Section 12.

9.2 Mixed Commercial & Business Planning Area

The Mixed Commercial & Business Planning Area is to be a mixed use urban center that will provide a range of retail, commercial, professional services, cultural and community facilities and high density residential that, in concept with the Town Center, will create a quality destination and economic center in the New Braunfels metropolitan region.

The center is organized into two highly connected areas; one will accommodate large format retail; and the other mixed use business and community facilities.

9.2.1 Objectives

The objectives in developing the Mixed Commercial & Business Planning Area are to:

- I. Create a diverse range of employment opportunities.
- II. Organize the urban center into cohesive pattern of 'super blocks' delineated and connected by a grid of streets.
- III. Configure buildings, civic spaces and parks to create a pedestrian-scale walking environment and inviting visual spaces and connections between buildings.
- IV. Utilize on-street parking on the connecting streets, as well as surface parking lots and parking structures that are screened from streets and other public areas by buildings and/or landscaping.
- V. Utilize shared parking to reduce overall parking requirements.
- VI. Provide tree-lined streets that create an inviting public realm and provide strong vehicular, pedestrian and biking linkages within the center and connections to surrounding centers and neighborhoods.
- VII. Utilize climate responsive landscaping that provides shade in the summer, allows sun in the winter, and supplements the natural drainage system on the site.
- VIII. Encourage green development practices to reduce energy use, conserve water and use of all readily available modes of transportation.
- IX. Efficiently utilize physical infrastructure and community facilities.

The objectives in developing the Large Format Retail Planning Sub Area are to:

- X. Provide regional retailing opportunities commensurate to the project's trade area.
- XI. Accommodate a range of vehicle-oriented retail uses in a concentrated and highly accessible location.
- XII. Provide large and medium scale retail establishments that address active pedestrian-oriented streets.
- XIII. Provide smaller scale retail, food and business tenancies, where practical, along the frontage of arterial roads that lead to the Town Center.
- XIV. Provide a landscaped streetscape and signage along SH Loop 337 to create an inviting entrance statement.

The objectives in developing the Mixed Use Employment Planning Sub Area are to:

- XV. Provide a mix of local and regional commercial services commensurate to the project's trade area.
- XVI. Accommodate a range of commercial, office, institutional, and medium to high density residential uses.
- XVII. Provide a combination of buildings oriented to active pedestrian-oriented streets and buildings clustered in campus settings.
- XVIII. Provide a transition of less intense non-residential uses between the Large Format Retail Planning Sub Area, the Town Center Planning Area and surrounding neighborhoods.

The Permitted Land Use Matrix, which identifies all land uses permitted within the Large Format Retail Planning Sub Area and Mixed Use Employment Planning Sub Area, is included in Section 12.

9.3 Neighborhood Center Planning Area

Neighborhood Center Planning Areas are small mixed use centers within walking distance of local residents. They will provide convenience and service retail, commercial services, community facilities and other activities that directly support the local residents.

9.3.1 Objectives

The objectives in developing Neighborhood Center Planning Areas are to:

- I. Locate centers in close proximity to neighborhood parks, schools and community facilities, such as public libraries, meeting halls and emergency services.
- II. Configure buildings or building clusters towards active pedestrian-oriented streets to create pedestrian-scale walking environments and inviting spaces and connections between buildings.
- III. Create civic spaces that optimize physical and visual relationships between streets, parks and neighborhoods.
- IV. Render an architectural style that creates a sense of place and is sympathetic to surrounding neighborhoods.
- V. Utilize on-street parking, as well as surface parking lots screened from streets and other public areas by buildings and/or landscaping.
- VI. Provide safe, attractive vehicular, pedestrian and bicycle connections between centers and adjoining neighborhoods.
- VII. Utilize climate responsive landscaping that provides shade in the summer, allows sun in the winter, and supplements the natural drainage system on the site.
- VIII. Promote green development practices to reduce energy use, conserve water and use of all readily available modes of transportation.
- IX. Efficiently utilize physical infrastructure and community facilities.

The Permitted Land Use Matrix, which identifies all land uses permitted within the Neighborhood Center Planning Area, is included in Section 12.

9.4 Resort Planning Area

The Resort Planning Area takes advantage of the amenity of the Guadalupe River to provide a destination attraction for visitors that provides accommodation, services and amenities in an environment that maximizes the qualities of the Texas Hill Country.

9.4.1 Objectives

The objectives in developing the Resort Planning Area are to:

- I. Establish a year-round destination resort hotel and resort-focused neighborhood in the distinct image of the Texas Hill Country.
- II. Configure buildings to optimize visual connections to the Guadalupe River.
- III. Create buildings that respond to the natural topography and vegetation with an architectural style that is indigenous to the Texas Hill Country.
- IV. Provide safe and attractive vehicular, pedestrian and bicycle connections between the resort and adjoining neighborhoods.
- V. Implement a landscape theme that is indigenous to the region that utilizes native species and requires minimal ongoing maintenance.
- VI. Promote green development practices to reduce energy use, conserve water and use of all readily available modes of transportation.
- VII. Efficiently utilize physical infrastructure and community facilities.

The Permitted Land Use Matrix, which identifies all land uses permitted within the Resort Planning Area, is included in Section 12.

10 Neighborhoods

Neighborhoods are focused on identifiable and accessible centers and community facilities. They will comprise of a mix of integrated residential dwelling choices in regard to type, size and affordability, and live-work opportunities. Housing is predominately low density. Higher densities will occur near centers and community facilities, particularly the Town Center Planning Area. Neighborhoods have a sufficient level of connectivity with access to coordinated and interconnected vehicular, pedestrian and bicycle accessways.

10.1 High Density Residential Planning Area

The High Density Residential Planning Area is to be adjacent to, and a residential extension of, the Town Center Planning Area. It is also encouraged adjacent to the Mixed Commercial & Business Planning Area. It is the preferred location for the highest residential densities within the project.

10.1.1 Objectives

The objectives in developing High Density Residential Planning Areas are to:

- I. Create high-density residential neighborhoods that provide for the highest residential densities within the project.
- II. Facilitate different levels of housing affordability.
- III. Configure buildings to address streets that border the Town Center and other adjacent commercial areas; along adjoining waterways; and parks and plazas within the neighborhood.
- IV. Where located adjacent to the Town Center, development is designed:
 - as an extension of the Town Center;
 - at a pedestrian scale; and
 - transition densities down where adjacent to neighborhoods.
- V. Maximize the use of streetscapes that connect to ground-floor uses and public spaces in surrounding centers and neighborhoods.
- VI. Provide safe and attractive vehicular, pedestrian and bicycle connections to adjoining centers and neighborhoods.
- VII. Utilize on-street parking, as well as surface parking lots and parking structures screened from streets and other public areas by buildings and/or landscaping.
- VIII. Implement a landscape theme that is indigenous to the region that utilizes native species and requires minimal ongoing maintenance.
- IX. Utilize green development practices to reduce energy use, conserve water, and use all readily available modes of transportation.
- X. Make the most efficient use of physical infrastructure and community facilities.

Non-residential uses that have the potential to detract from the vitality and viability of the Town Center Planning Area and/or general residential character and amenity are not encouraged within High Density Residential Planning Areas.

The Permitted Land Use Matrix, which identifies all land uses permitted within the High Density Residential Planning Area, is included in Section 12.

10.2 Neighborhood (Mixed Density) Residential Planning Area

The Neighborhood (Mixed Density) Residential Planning Areas are intimate places with diverse housing types located along safe and walkable street spaces.

10.2.1 Objectives

The objectives in developing Neighborhood (Mixed Density) Residential Planning Areas are to:

- I. Create neighborhoods that accommodate a diverse range of housing types, sizes, affordability levels, and opportunities for live-work.
- II. Within neighborhoods, co-locate neighborhood parks, schools and community facilities to create community focal points.
- III. Ensure higher densities occur in close proximity to centers and public transit routes.
- IV. Use minor arterial and collector streets to define neighborhood cells without bisecting or isolating them.
- V. Ensure neighborhoods have equitable access to parks and recreational amenities.
- VI. Provide safe and attractive vehicular, pedestrian and bicycle connections to adjoining centers and neighborhoods.
- VII. Size residential streets to fit the character of the neighborhoods.
- VIII. Implement a landscape theme that is indigenous to the region that utilizes native species and requires minimal ongoing maintenance.
- IX. Utilize green development practices to reduce energy use, conserve water, and use all readily available modes of transportation.
- X. Make the most efficient use of physical infrastructure and community facilities.

Non-residential uses that have the potential to detract from the vitality and viability of Neighborhood Center Planning Areas and/or general residential character and amenity are not encouraged within Neighborhood (Mixed Density) Residential Planning Areas.

The Permitted Land Use Matrix, which identifies all land uses permitted within the Neighborhood (Mixed Density) Residential Planning Area, is included in Section 12.

11 Parks

11.1 Park Planning Area

Parks provide for a range of sporting, recreational, leisure, cultural, educational and environmental activities that serve the needs of the project. Parks also have a dual function of protecting areas of environmental significance and scenic amenity within the broader park network.

11.1.1 Objectives

The objectives in developing the Park Planning Area are to:

- I. Provide a range of functional and accessible parks, including local and regional parks, and linkages that meet the project's recreational needs.
- II. Create parks that provide:
 - areas for active sport and recreational opportunities;
 - ancillary structures and buildings, such as pavilions/shade structures, amenity facilities, restrooms, picnic tables and playscapes; and
 - buffers between incompatible land uses.
- III. Implement a landscape theme that is indigenous to the region that utilizes native species and requires minimal ongoing maintenance.
- IV. Utilize green development practices to reduce energy use and conserve water.
- V. Make the most efficient use of physical infrastructure and community facilities.

The Permitted Land Use Matrix, which identifies all land uses permitted within the Park Planning Area, is included in Section 12.



PART D

PERMITTED LAND USES

12 Permitted Land Use Matrix

The use of land and/or buildings shall be in accordance with those listed in the Permitted Land Use Matrix.

12.1 Permitted Land Uses Matrix – Residential Uses

Land uses identified by "P" symbol indicate those uses that are permitted within a planning area.

Land uses identified by "S" symbol indicate those uses that are permitted within a planning area subject to obtaining a Special Use Permit.

Land uses identified by "X" symbol indicate those uses that are prohibited within a planning area.

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Accessory Structure	P	P	P	P	P	P	P	P
Assisted Living Facility or Elderly Housing, high intensity	P	X	P	X	P	P	S	X
Assisted Living Facility or Elderly Housing, low intensity	P	X	P	X	P	P	P	X
Dwelling, accessory	X	X	X	X	P	S	P	X
Dwelling, HUD code-manufactured	X	X	X	X	X	X	X	X
Dwelling, industrialized	X	X	X	X	X	X	X	X
Dwelling, multi-family	P	P ³	P ³	S ⁴	P	P	P	X
Dwelling, short term rental	X	X	X	X	P ¹	P ¹	X	X
Dwelling, single-family attached (duplex)	X	X	X	X	P	S	P	X
Dwelling, single-family attached (townhouse)	P	X	S	S	P	S	P	X
Dwelling, single-family detached	X	X	X	X	P	X	P	X
Dwelling, single-family detached (cluster)	X	X	X	X	P	X	P	X



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Dwelling, single-family detached (zero-lot line)	X	X	X	X	P	X	P	X
Family Home (child care or adult care)	P	X	P	S	S	P	P	X
Gated Neighborhood	X	X	X	X	S ²	S ²	S ²	X
Group Home	P	P	P	P	P	P	P	X
Home Occupation	P	X	P	P	P	P	P	X
Residential Use in buildings with Non-Residential Uses permitted in the Planning Area (e.g. caretaker unit)	P	S	P	S	P	P	S	X

¹ Additional zoning requirements, as set forth in Code of Ordinances, shall be applicable in the assessment of this use to the extent permitted by the Development Agreement or State law.

² Where a gated neighborhood is approved as part of a Sector Plan application a Special Use Permit shall not be required. Such a use shall be considered a permitted use.

³ Maximum of 700 multi-family dwellings permitted as of right, excluding those in a mixed-use development. Additional multi-family dwellings may be approved by SUP.

⁴ Where part of a mixed-use development only.

12.2 Permitted Land Uses Matrix – Non-Residential Uses

Land uses identified by "P" symbol indicate those uses that are permitted within a planning area.

Land uses identified by "S" symbol indicate those uses that are permitted within a planning area subject to obtaining a Special Use Permit.

Land uses identified by "X" symbol indicate those uses that are prohibited within a planning area.

	TOWN CENTER PLANNING AREA	LARGE FORMAT RETAIL PLANNING SUB AREA	MIXED USE EMPLOYMENT PLANNING SUB AREA	NEIGHBORHOOD CENTER PLANNING AREA	RESORT PLANNING AREA	HIGH DENSITY RESIDENTIAL PLANNING AREA	NEIGHBORHOOD (MIXED DENSITY) RESIDENTIAL AREA	PARK PLANNING AREA
ACCOMMODATION								
Bed and Breakfast	S ¹	X	S ¹	X	P ¹	P ¹	P ¹	X
Boarding House	P	X	X	X	P	S	S	X
Dormitory	P	X	P	X	X	P	P ⁴	X
Hospice Residential Care Facility	P	X	P	P	S	P	S	X
Hotel/Resort	P	P	P	X	P	S	X	X
RETAIL								
Agricultural Equipment and Supply Retail Establishment	X	X	X	X	X	X	X	X
Animal Grooming Service	P	P	S	P	S	X	X	X
Auction House	X	P	S	X	X	X	X	X
Automobile Dealership	X	P	X	X	X	X	X	X
Automobile Detailing Shop	X	P	X	X	X	X	X	X
Automobile Parts Store	X	P	X	X	X	X	X	X
Automobile Repair Services Establishment	X	P	X	X	X	X	X	X
Bar/Nightclub/Tavern	P	P	P ³	P ³	P	P ²	X	X
Barber Shop/Beauty Salon	P	P	P ³	P ³	P	P ²	X	X



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Café/Coffee House	P	P	P	P	P	P ¹	X	S
Car Wash	X	P	X	S	X	X	X	X
Catering Service	P ¹	P ¹	S ¹	P ¹	P ¹	S ¹	X	X
Convenience Store, with gasoline sales	X	S	S	S	X	X	X	X
Convenience Store, without gasoline sales	P ²	P	P ³	P ³	P ³	P ²	X	X
Department Store	P	P	S	X	X	X	X	X
Drug Store/Pharmacy	P ²	P	P ³	P	X	P ²	X	X
Dry Cleaning Establishment	P ²	P	P ³	P	P	P ²	X	X
Farmer's Market	P	P	X	S	X	X	X	S
Laundromat	X	P	X	P ³	X	X	X	X
Liquor Store	P	P	P ³	P	S	P ²	X	X
Mobile Food Court	P ¹	P ¹	P ¹	S ¹	X	S ¹	X	S ¹
Restaurant	P	P	P	P	P	P ²	X	S
Restaurant, Drive In	X	P	S	X	X	X	X	X
Retail Establishment	P	P	P ³	P	P	P ²	X	X
Retail Establishment, big box	X	P	S	X	X	X	X	X
Shopping Center, equal to or less than 50,000 sq. ft.	P	P	S	P	S	P ¹	X	X
Shopping Center, greater than 50,000 sq. ft.	P	P	S	S	X	X	X	X
Supermarket, With Gasoline Sales	X	S	S	S	X	X	X	X
Supermarket, Without Gasoline Sales	P ²	P	P ³	P	S	P ²	X	X
Tattoo Parlor/Body Piercing Studio	S	P	X	X	X	X	X	X



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Temporary Vendor / Mobile Food Unit	P ¹	P ¹	P ¹	S ¹	X	S ¹	X	S ¹
BUSINESS								
Broadcasting/Production Studio/Communication Service	P	P	P	S	X	P ²	X	X
Check Cashing Service	P ²	P	P ³	P ³	X	P ²	X	X
Financial Institution	P	P	P	P	X	P ²	X	X
Office	P	P	P	P	X	P	X	X
Research and Development Facility	P	P	P	X	X	X	X	X
Veterinary Clinic, with no outside animal runs or kennels	P	P	P	P	X	P ²	X	X
Veterinary Clinic, with outdoor animal runs or kennels	X	X	X	X	X	X	X	X
CIVIC, HEALTH & EDUCATION								
Cemetery/Columbarium/Crematorium/Mausoleum	X	X	X	X	X	X	X	X
Club	P	P	P	P	P	P	P	P
College/University (public or private)	P	S	S	P	X	P ⁴	P ⁴	X
Day Care Center (child or adult)	P	S	S	P	S	S	S	X
Funeral Home/Mortuary	X	X	X	X	X	X	X	X
Government Building or Use (without outdoor storage)	P	P	P	P	P	P	P	P
Hospital/Health Care Facility	S	P	P	X	X	X	X	X
Medical Facility	P	P	P	P ³	X	P ²	X	X
Public Safety Facility	P	P	P	S	S	S	S	S
Religious Institution	P	P	P	P	P	P	P	X
Sanatorium	X	X	X	X	X	X	X	X



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School, K-12 (public or private)	P	P	P	P	P	P	P	P
School, vocational	P	P	P	P ³	X	P ⁴	P ⁴	X
ARTS, ENTERTAINMENT & RECREATION								
Amphitheater	P	P	P	S	P	X	X	P
Amusement Arcade	P	P	X	P	P	X	X	X
Amusement Park	S	S	S	S	S	S	X	S
Archery Range	X	X	X	X	S	X	X	S
Athletic Field	S	S	X	X	P	S	P ⁴	P
Cabin	X	X	X	X	P	X	X	S
Camp, day or youth	P	P	S	X	P	X	S	S
Campground	X	X	X	X	S	X	X	S
Community Facility	P	P	P	P	P	P	P	P
Conference/Convention Center	P	P	P	X	P	X	X	P
Dance Hall	P ¹	P ¹	S ¹	X	P ¹	X	X	S ¹
Driving Range	X	P ¹	X	X	P ¹	X	X	P ¹
Fairground/Festival Ground	X	X	X	X	X	X	X	P
Golf Course	X	X	X	X	P	P	P	P
Golf Course, Miniature	S	P	X	X	P	X	X	P
Indoor Shooting Range	X	S ¹	X	X	S ¹	X	X	X
Museum	P	P	P	P	P	P ²	X	P
Park	P	P	P	P	P	P	P	P



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Recreation Establishment, commercial indoor	P	P	S	S	S	P ²	X	X
Recreation Establishment, commercial outdoor	S	X	X	X	P	X	X	S
Recreation Facility, private	P	P	P	P	P	P ⁶	P ⁶	P
Recreation Facility, public	P	P	P	P	P	P	P	P
Recreation Vehicle (RV) Park	X	X	X	X	X	X	X	X
Rodeo Ground	X	X	X	X	X	X	X	X
Studio (art, dance, music, drama, reducing, photography)	P	P	P ³	P	P	P ²	X	X
Theater, motion or performing arts	P	P	P ³	S	P	S	X	S
Tuber Entrance and Exit Facility	X	X	X	X	S	X	X	S
Waterfront Amusement Facility, berthing facilities sales and rentals	X	X	X	X	P ⁵	X	X	S
Waterfront Amusement Facility, boat fuel storage/dispensing facilities	X	X	X	X	P ⁵	X	X	X
Waterfront Amusement Facility, boat landing piers/launching ramps	X	X	X	X	P ⁵	X	X	S
Waterfront Amusement Facility, swimming/wading pools/bathhouses	X	X	X	X	P ⁵	X	X	S
TRANSPORTATION & UTILITIES								
Airport	X	X	X	X	X	X	X	X
Bus Lot	X	X	X	X	X	X	X	X
Bus Terminal	S	S	S	X	X	X	X	X
Freight Terminal	X	X	X	X	X	X	X	X
Garage/Parking Lot, commercial	P	P	P	P	P	S	X	P



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Helipad/Helistop	p ¹	p ¹	p ¹	X	p ¹	X	X	X
School, automobile driving school	X	P	S	X	X	X	X	X
Solid Waste Transfer Facility	X	X	X	X	X	X	X	X
Taxi and Limousine Service	X	X	X	X	X	X	X	X
Telecommunication Antenna/Tower	p ¹	p ¹	p ¹	p ¹	p ¹	p ¹	p ¹	p ¹
CONSTRUCTION								
Contractor's Office	p ¹	p ¹	p ¹	p ¹	p ¹	p ¹	p ¹	p ¹
Temporary Real Estate Sales Office	p ¹	p ¹	p ¹	p ¹	p ¹	p ¹	p ¹	p ¹
MINING & EXTRACTION								
Mining and Extractive Industry	X	X	X	X	X	X	X	X
Water Storage (surface, underground or overhead, water wells and pumping stations that are part of a public or municipal system)	P	P	P	P	P	P	P	P
MANUFACTURING & WHOLESALE TRADE								
Brewery	X	X	X	X	X	X	X	X
Manufacturing Establishment, chemicals, metals, machinery and electronics products	X	X	X	X	X	X	X	X
Manufacturing Establishment, food, textiles and related products	X	X	X	X	X	X	X	X
Manufacturing Establishment, miscellaneous products	X	X	X	X	X	X	X	X
Manufacturing Establishment, wood, paper and printing products	X	X	X	X	X	X	X	X
Microbrewery	p ²	P	p ³	p ³	X	X	X	X
Self-Service Storage Facility	X	S	P	X	X	X	X	X
Service Industry Establishment	X	S	P	X	X	X	X	X



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Warehouse, Mini/Self Storage Facility (with boats and RV storage)	X	X	X	X	X	X	X	X
Warehouse, Mini/Self Storage Facility (without boats and RV storage)	X	S	S	X	X	X	X	X
Wholesale Trade Establishment	X	X	X	X	X	X	X	X
AGRICULTURE [#]								
Agricultural Support Services	X	X	X	X	X	X	X	X
Animal Husbandry	X	X	X	X	X	X	X	X
Crop Production	X	X	X	X	X	X	X	X
Farm	X	X	X	X	X	X	X	X
Farm, ancillary building	X	X	X	X	X	X	X	X
Livestock Market	X	X	X	X	X	X	X	X
Stockyard	X	X	X	X	X	X	X	X
OTHER								
Sexually-Oriented Businesses	X	X	X	X	X	X	X	X

[#] Excluding existing agricultural and ranching activities

¹ Additional zoning requirements, as set forth in Code of Ordinances, shall be applicable in the assessment of this use to the extent permitted by the Development Agreement or State law.

² Where located on the ground floor of a mixed use building, otherwise subject to a Special Use Permit.

³ Where forming part of a cohesive development, otherwise subject to a Special Use Permit.

⁴ Where located within the Higher Education Overlay, otherwise subject to a Special Use Permit – refer to Plan 3-1.

⁵ Where ancillary to a principal hotel/resort use, otherwise subject to a Special Use Permit.

⁶ Where owned by a HOA, otherwise subject to a Special Use Permit.



12.3 New and Unlisted Land Uses

It is recognized that new types of land uses will arise in the future and forms of land uses not presently anticipated may seek to locate in the project. In order to provide for such changes and contingencies, a determination as to the appropriate classification of any new or unlisted form of land use in the Permitted Land Use Matrix shall be made as follows:

- A new and unlisted land use may be interpreted by the Planning Director as similar to a listed land use. The unlisted land use shall possess the majority of characteristics of the listed land use, otherwise the unlisted land use shall be submitted to the Planning Commission and City Council for approval. If the unlisted land use is deemed similar to a listed land use, no amendment of the Permitted Land Use Matrix is required.
- A person requesting the addition of a new or unlisted land use shall submit to the Planning Director all information necessary for the classification of the land use, including but not limited to:
 - » the nature of the land use and whether the land use involves residential activity, sales, services, or processing;
 - » the type of product/s sold or produced under the land use;
 - » whether the land use has enclosed or open storage, and the amount and nature of the storage;
 - » anticipated employment for the land use;
 - » transportation requirements, including approximate mileage, turning radius, or driving time of the expected client or patron base;
 - » the nature and time of occupancy and operation of the premises;
 - » the off-street parking and loading requirements;
 - » the amount of noise, odor, fumes, dust, toxic materials and vibration likely to be generated;
 - » the requirements for public utilities, such as sanitary sewer and water, and any special public services that may be required; and
 - » impervious surface coverage or anticipated size of building.

The Planning Director shall refer the question concerning any new or unlisted land use to the Planning Commission and request a recommendation as to the planning area into which such land use should be placed.

The Planning Commission shall consider the nature and described performance of the proposed land use and its compatibility with the land uses permitted in the various planning areas to determine the planning area/s within which such land use is most similar and should be permitted.

The Planning Commission shall transmit its findings and recommendations to the City Council as to the classification proposed for any new or unlisted use. The City Council shall approve or disapprove the recommendation of the Planning Commission or make such determination concerning the classification of such use as is determined appropriate based upon its findings. If approved, the new or unlisted use shall be updated in the Land Use Matrix of this DDGD.



PART E

SECTOR & PLAT DESIGN CODES

13 Sector Design Code

13.1 Applicability

This Code applies in the assessment of all Sector Plan applications and subsequent related applications within the project.

13.2 Purpose

The purpose of this Code is to:

- I. Ensure the Guiding Principles and Planning Area Objectives are met.
- II. Facilitate the logical and efficient use of land for residential, non-residential and mixed use development.
- III. Encourage safe, convenient and attractive neighborhoods and centers, that meet the diverse and changing needs of the project, including:
 - a cohesive neighborhood structure that facilitates permeability;
 - a block structure that supports transition and evolution of uses over time;
 - a range of housing opportunities to accommodate a diverse range of lifestyles;
 - protection of specific local site conditions, such as existing vegetation, slope, orientation and other design variables;
 - access to non-residential and community facilities;
 - a street network that functions both as the principal movement network and an important aspect of the public realm;
 - streets that create an enjoyable experience for vehicular traffic, pedestrians and cyclists;
 - access to parks and recreation;
 - a quality development preserving the sense of place and Texas Hill Country character; and
 - adequate on-site and off-site (where necessary) stormwater management.

13.3 Development Standards

The applicable application shall comply with the minimum development standards of this Code unless superseded by approved alternative development standards. Where there is a conflict between this Code and other codes, such a conflict is to be resolved in accordance with Figure 2-2.



13.3.1 Community Layout

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Planning Areas	1.1	The location of planning areas shall be consistent with the Master Framework Plan.	Guiding Principle Objectives: 3.2 I, II, III, IV, V, VIII. Code Purpose: 13.2 I, II, III.
Access	2.1	Each neighborhood cell shall have a minimum of two ingress/egress points to a major roadway.	Guiding Principle Objectives: 3.2 VI; 7.2 I. Code Purpose: 13.2 I, II, III.
Dwelling Density	3.1	Where residential uses are proposed, the average residential density shall be a minimum of: <ul style="list-style-type: none">▪ Town Center Planning Area: 20 dwelling/acre.▪ Town Center Frame Overlay: 18 dwellings/acre.▪ Mixed Use Employment Planning Sub Area: 10 dwellings/acre.▪ Large Format Retail Planning Sub Area: 10 dwellings/acre.▪ Neighborhood Center Planning Area: 10 dwellings/acre.▪ Resort Planning Area: 10 dwellings/acre▪ High Density Residential Planning Area: 16 dwellings/acre.▪ Neighborhood (Mixed Density) Residential Planning Area: 3.3 dwellings/acre.	Guiding Principle Objectives: 3.2 III, IV; 5.2 IV; 7.2 III. Code Purpose: 13.2 I, II, III.
Parks	4.1	Parks shall comply with the Park Use Code – refer to Section 26.	Guiding Principle Objectives: 5.2 VI, VII. Code Purpose: 13.2 I, II, III.

13.3.2 Gated Neighborhoods

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Access	1.1	A minimum of two, but no more than four, ingress/egress points shall be provided to a gated neighborhood.	Guiding Principle Objectives: 3.2 VI; 7.2 I. Code Purpose: 13.2 I, II, III.
Streets	2.1	Gated neighborhood shall comply with §118-46(x) of the Code of Ordinances unless otherwise set forth in this DDGD.	Guiding Principle Objectives: 5.2 I. Code Purpose: 13.2 I, II, III.
	2.2	The layout and design of streets within gated neighborhoods shall comply with Sections 13.3.3 and 13.3.4 this DDGD.	
Major Accessways	3.1	Where a major accessway, as illustrated on Plan 7-1, traverses a gated neighborhood, unhindered public pedestrian and bicycle access shall be provided.	Guiding Principle Objectives: 3.2 II, VI; Code Purpose: 13.2 I, II, III.
	3.2	Unhindered public pedestrian and bicycle access shall be provided adjacent to all vehicular gates.	



13.3.3 Blocks

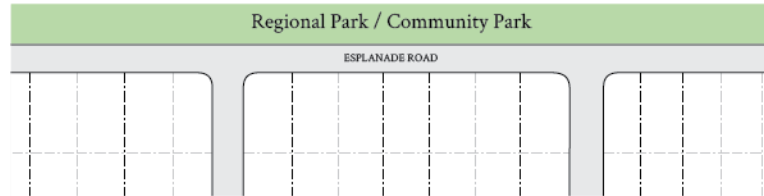
MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Block Orientation	<p>1.1 <i>All Planning Areas abutting a Park:</i></p> <p>Where a block abuts a park and no esplanade road is provided, the orientation of the block shall facilitate that future lots either front or side onto the park lot unless otherwise set forth in this Code.</p> <p><i>Neighborhoods abutting a Regional Park or Community Park.</i></p> <p>Where a neighborhood abuts a regional park and/or community park, block structure within that planning area shall facilitate no more than one consecutive block that adjoins the park without providing an esplanade road separating the regional park or community park from the planning area – refer to Figure 13-1.</p> <p><i>Neighborhoods abutting a Linear Open Space Park:</i></p> <p>Where a neighborhood abuts a linear open space park, block structure within that planning area shall facilitate no more than three consecutive blocks that adjoin the park without providing an esplanade road separating the linear open space park from the planning area.</p> <p>In accordance with the above block structure, where no esplanade road is provided, an esplanade road must be provided on the opposite side of the linear open space park – refer to Figure 13-2.</p> <p>Note:</p> <p>Where a Sector Plan does not extend to the full width of the Linear Open Space Park, and block structure requires an esplanade road to be provided on the opposing Linear Open Space boundary, a Sector Plan Note shall be required stating that an esplanade road is required on the opposing boundary to the Linear Open Space Park.</p>	<p>Guiding Principle Objectives: 3.2 V; 4.2 IV, V; 5.2 III</p> <p>Code Purpose: 13.2 I, II, III.</p>



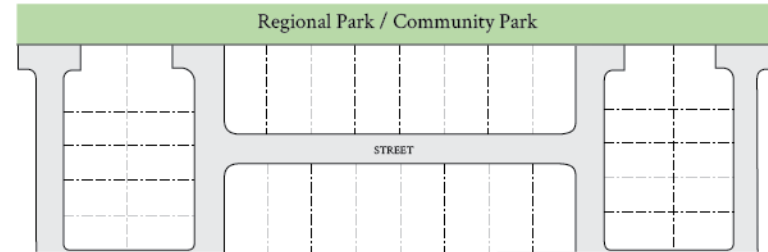
MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Block Length	<p>2.1 Block length, except where abutting SH Loop 337 ROW, shall not exceed:</p> <ul style="list-style-type: none">▪ 550 ft. where within ¼ mile of the Town Center or Neighborhood Center Planning Areas;▪ 750 ft. in the balance of the project unless otherwise set forth herein; or▪ outside a ¼ mile of the Town Center or Neighborhood Center Planning Areas, 850 ft. where 60 percent of the lot frontages on a street are 100 ft. or greater. <p>The maximum block length for blocks abutting SH Loop 337 ROW shall be 1,500 ft.</p> <p>Exceptions to these block lengths are allowed only where set forth elsewhere in this Code e.g. provision of cul-de-sac and extensions of existing stub streets.</p> <p>Note:</p> <p>The block length development standards listed above apply to local streets within precincts.</p> <p>2.2 No maximum block length shall apply within the Resort Planning Area.</p> <p>2.3 No maximum block length shall apply within the Park Planning Area; however a block shall be of a size and shape capable of accommodating a park lot to the dimensions stated in Table 14-1.</p> <p>2.4 Where a block is formed by the extension of a stub street from an adjacent subdivision outside of the project, the length of the block within the project may exceed the maximum block length set forth Development Standard 2.1 above, where the proposed block is maintaining the same or shorter block length as the adjoining subdivision.</p> <p>2.5 Where a block abuts a Park Planning Area, vehicular or pedestrian access shall be provided at a distance equal to the minimum block length for that planning area – refer to Figure 13-3.</p> <p>The width of the pedestrian access area (including a multi-purpose accessway and landscaped area) shall be the same width as either the street that terminates into the park, or where no street terminates into the park, the adjoining perpendicular street.</p>	<p>Guiding Principle Objectives: 3.2 IV, VI; 5.2 III.</p> <p>Code Purpose: 13.2 I, II, III.</p>

Figure 13-1 Residential Lot Orientation – Regional & Community Parks

1 Front orientated lots with Esplanade Road



2 Side and front orientated lots with no Esplanade Road



3 Front orientated lots only with no Esplanade Road

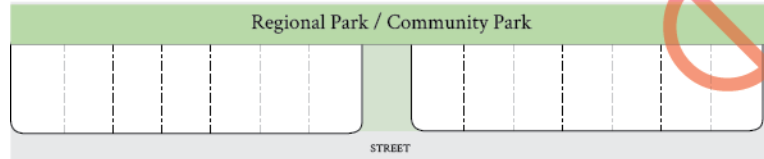
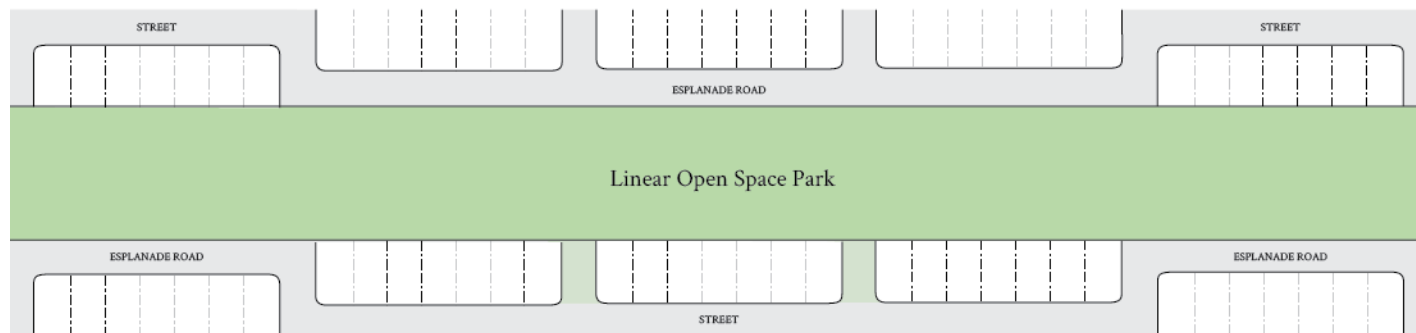
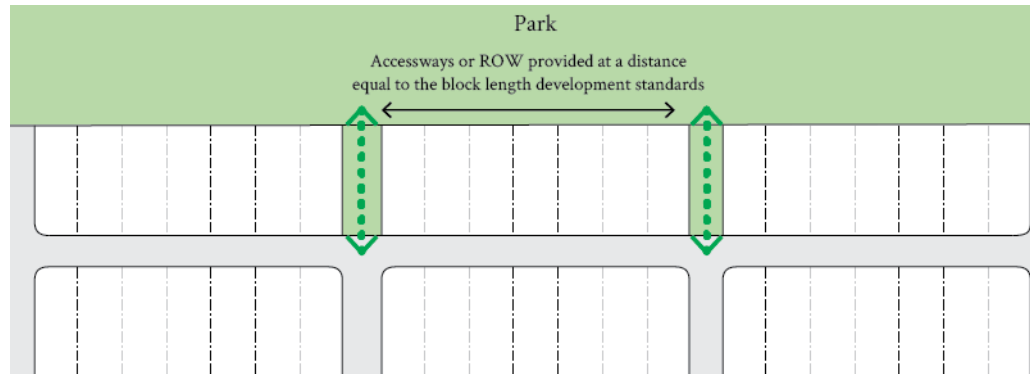


Figure 13-2 Residential Lot Orientation – Linear Open Space Parks



← Maximum of 3 consecutive blocks adjoining Linear Open Space Park without an Esplanade Road or side lot orientation. →

Figure 13-3 Park Planning Area Block Interface





13.3.4 Streets

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Traffic Impact Assessment	1.1	A TIA Update or TIA Worksheet shall be submitted in accordance with Appendix 1, Section 1.16.	Guiding Principle Objectives: 3.2 VI, VII; 7.2 I. Code Purpose: 13.2 I, II, III.
Street Layout	2.1	The alignment of major roadways shall be consistent with the Master Framework Plan.	Guiding Principle Objectives: 3.2 VI, VII; 7.2 I, II. Code Purpose: 13.2 I, II, III.
	2.2	Arterial and collector roads shall provide at least one route connecting activity centers, activity nodes and the City's thoroughfare network external to the project.	
	2.3	Minor roadways shall interconnect with major roadways to provide secondary routes for local traffic and distribute vehicle trips across multiple routes to minimize cut through traffic.	
Street Orientation	3.1	All streets shall terminate at another street or at a park lot, except for a cul-de-sac or stub street where provided in accordance with Development Standards 5.1 and 10.1-10.4 below.	Guiding Principle Objectives: 3.2 VI; 4.2 IX; 7.2 I, II. Code Purpose: 13.2 I, II, III.
	3.2	Design and orient the streets within a neighborhood cell, such that 30 percent or more of the blocks, have one axis within plus or minus 15 degrees of geographical east/west, and the east/west length of those blocks are at least as long as the north/south length of the block.	
Relation to Abutting Street System	4.1	Oak Run Parkway shall be continued into the project.	Guiding Principle Objectives: 3.2 VI, VII; 7.2 I. Code Purpose: 13.2 I, II, III.
	4.2	For road stubs that connect to Edwards Boulevard, all connections shall be continued into the project.	
Projection of Streets	5.1	Where abutting an unplatted tract, the arrangement of roadways in the sector shall make provision for the projection of roadways into such tracts, including curb returns and associated pavement, ramps, crosswalks and drainage features in the same manner as determined by the City Engineer in similarly situated areas of the City.	Guiding Principle Objectives: 3.2 VI, VII; 7.2 I. Code Purpose: 13.2 I, II, III.
Street Names	6.1	Names of new streets shall not be duplicated or cause confusion with the names of existing streets, unless new streets are a continuation of, or in alignment with, existing streets in which case names of existing streets shall be used.	Guiding Principle Objectives: 3.2 VI, VII; 7.2 I. Code Purpose: 13.2 I, II, III.
	6.2	Street names should be continuous throughout the entire length of the street, even if it changes directions.	
	6.3	Street name lengths shall be limited in length so that the maximum number of characters for the street sign plate will be fourteen characters (including spaces).	
	6.4	Each primary street name should be used only once, except that a short loop or circle may have the same root name as the street it intersects.	

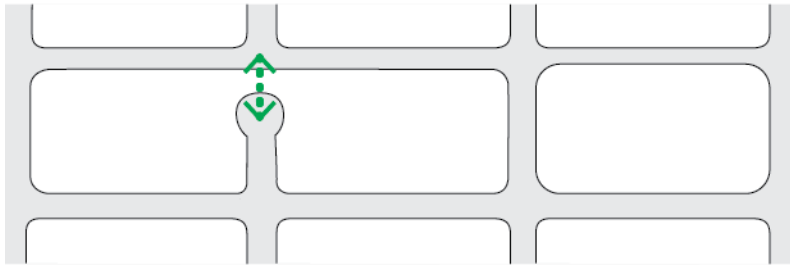


MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Street Names (cont'd)	6.5	Multiple names with the same primary name are limited to 14 occurrences per subdivision (e.g. Oak Way Drive, Oak View Street, Oak Tree Avenue, Oak Hills Lane).	
Street Jogs	7.1	Where a street jog is provided, the centerline offset shall be 250 ft. or greater.	Guiding Principle Objectives: 3.2 VI, VII; 7.2 I. Code Purpose: 13.2 I, II, III.
Street Intersections	8.1	Street intersection interior angles shall be no greater than 100 degrees or no less than 80 degrees.	Guiding Principle Objectives: 3.2 VI, VII; 7.2 I. Code Purpose: 13.2 I, II, III.
	8.2	Intersection sight distance shall be provided in accordance with the <i>American Association of State Highway and Transportation Officials Policy on Geometric Design of Highways and Streets</i> .	
Dead-end Streets	9.1	Permanent dead end streets shall be prohibited, except as stub streets to permit future expansion as required by Development Standard 5.1 above. Such stub streets shall not exceed a length of 250 ft. and a temporary turnaround shall be provided.	Guiding Principle Objectives: 3.2 VI, VII; 7.2 I. Code Purpose: 13.2 I, II, III.
Culs-de-sac	10.1	No more than one cul-de-sac shall be provided consecutively – refer to Figure 13-4. Where a cul-de-sac is provided, the length of one side of the block may exceed the maximum block length set forth in Section 13.3.3, Development Standard 2.1, where a multi-use accessway is provided connecting the cul-de-sac with the abutting street or park lot. The location of the intersection of the accessway and the street/park lot shall be in accordance with the maximum block length requirement set forth in Section 13.3.3, Development Standard 2.1.	Guiding Principle Objectives: 3.2 VI, VII; 7.2 I. Code Purpose: 13.2 I, II, III.
	10.2	A cul-de-sac shall not exceed a length of 450 ft.	
	10.3	In neighborhoods, culs-de-sac shall have a minimum ROW radius of 65 ft. and a minimum driving surface radius of 55 ft. If the City adopts a smaller minimum ROW radius than as set forth above, the smallest radius requirement shall apply.	
	10.4	In the Town Center and Mixed Commercial & Business Planning Areas and Town Center Frame Overlay, culs-de-sac shall be prohibited unless, as determined by the Planning Director: <ul style="list-style-type: none"> ▪ the Applicant does not own or control the property that would allow access from the project to Independence Way, or the City has not secured the ROW to facilitate a connection to Independence Way; ▪ to avoid a sensitive feature; or ▪ to terminate a road into a park lot as permitted by Development Standard 3.1 above. 	

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Limited Access	11.1	Residential lots that abut arterial and collector roads shall not have direct access to that road. Access shall be provided by a secondary street or alley.	Guiding Principle Objectives: 3.2 VI, VII; 7.2 I. Code Purpose: 13.2 I, II, III.
	11.2	Major driveway approaches with peak hour trips greater than 100 PHT shall be shared between different property owners or tenants when necessary to maintain minimum spacing required by Table 13-1.	
ROW Widths	12.1	ROW widths shall comply with Table 13-2 and Figure 13-5.	Guiding Principle Objectives: 3.2 VI, VII; 7.2 I. Code Purpose: 13.2 I, II, III.

Figure 13-4 Culs-de-sac Block Pattern

1 Block pattern with nonconsecutive culs-de-sac and accessway



2 Block pattern with consecutive culs-de-sac and accessway

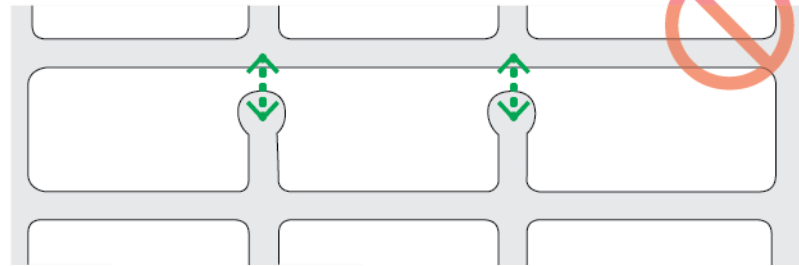




Table 13-1 Driveway Spacing

Driveway access spacing shall be measured from the closest edge of pavement of the first access connection to the closest edge of pavement of the second access connection.

	OPPOSITE RIGHT DRIVEWAY SPACING (EXCLUDING SINGLE-FAMILY DWELLINGS)	OPPOSITE LEFT DRIVEWAY SPACING (EXCLUDING SINGLE-FAMILY DWELLINGS)	ADJACENT DRIVEWAY SPACE (EXCLUDING SINGLE-FAMILY DWELLINGS)
Local Street	Shall match or greater than 15 ft.	Shall match or greater than 15 ft.	Greater than 25 ft.
Sub-Collector	Shall match or greater than 15 ft.	Shall match or greater than 15 ft.	Greater than 75 ft.
Collector	Shall match or greater than 100 ft.	Shall match or greater than 125 ft.	Greater than 100 ft.
Minor Arterial	Shall match or greater than 225ft.	Shall match or greater than 125 ft.	Greater than 150 ft.
Principal Arterial	Shall match or greater than 300 ft.	Shall match or greater than 125 ft.	Greater than 250 ft.
Principal Arterial Median	To be determined by the City Engineer in a reasonable manner as similarly situated areas of the City.	To be determined by the City Engineer in a reasonable manner as similarly situated areas of the City.	



Table 13-2 Typical Street Development Standards

	NEIGHBORHOOD (MIXED DENSITY) RESIDENTIAL PLANNING AREA, NEIGHBORHOOD CENTER PLANNING AREA, RESORT PLANNING AREA AND PARK PLANNING AREA				MIXED COMMERCIAL & BUSINESS PLANNING AREA AND HIGH DENSITY RESIDENTIAL PLANNING AREA				TOWN CENTER PLANNING AREA			
	PRINCIPAL ARTERIAL	MINOR ARTERIAL	COLLECTOR	LOCAL	PRINCIPAL ARTERIAL	MINOR ARTERIAL	COLLECTOR	LOCAL	PRINCIPAL ARTERIAL	MINOR ARTERIAL	COLLECTOR	LOCAL
Minimum ROW Width	91 ft.	88 ft.	74 ft.	52 ft.	89 ft.	89 ft.	75 ft.	54 ft.	99 ft.	99 ft.	79 ft.	63 ft.
TRAVELLED WAY CHARACTERISTICS												
Target Speed	40-45 mph	35-40 mph	25-35 mph	25 mph	40-45 mph	35-40 mph	25-30 mph	25 mph	25-35 mph	25-35 mph	25 mph	20-25 mph
Number of Through Lanes	4-6	4	2	2	4-6	4	2 (+ access lanes)	2	4	4	2	2
Lane Width	11 - 12 ft.	11 ft.	10 – 11 ft.	7 – 10 ft.	11 – 12 ft.	11 ft.	10 – 11 ft.	7 – 10 ft.	11 - 12 ft.	11 ft.	10 – 11 ft.	7 – 10 ft.
Parallel On-street Parking Width ¹	Prohibited	Prohibited	8 ft.	7 ft.	Prohibited	Prohibited	8 ft.	7 ft.	Prohibited	Prohibited	8 ft.	8 ft.
Minimum Bike Lane Width ²	Prohibited	Prohibited	5 ft.	5 ft. (optional)	Prohibited	Prohibited	5 ft.	5 ft. (optional)	Prohibited	Prohibited	5 ft.	5 ft. (optional)
Medians	Up to 36 ft.	16-26 ft.	10 – 16 ft. (optional)	None except at NBHD entries for landscaping purposes	Up to 36 ft.	16-26 ft.	10 – 16 ft. (optional)	None except at NBHD and center entries for landscaping purposes	Up to 36 ft.	16-26 ft.	Optional	None except at center entries for landscaping purposes
Access Management ¹	High	Moderate	Low	Low	High	Moderate	Low – Moderate	Low – moderate	Moderate	Moderate	Moderate	Low - Moderate

¹ A high level of access management uses medians to restrict mid-block turns, consolidate driveways and control the spacing of intersections. A low level of access management limits full access at some intersections, but generally uses minimal measures to restrict access.



	NEIGHBORHOOD (MIXED DENSITY) RESIDENTIAL PLANNING AREA, NEIGHBORHOOD CENTER PLANNING AREA, RESORT PLANNING AREA AND PARK PLANNING AREA				MIXED COMMERCIAL & BUSINESS PLANNING AREA AND HIGH DENSITY RESIDENTIAL PLANNING AREA				TOWN CENTER PLANNING AREA			
	PRINCIPAL ARTERIAL	MINOR ARTERIAL	COLLECTOR	LOCAL	PRINCIPAL ARTERIAL	MINOR ARTERIAL	COLLECTOR	LOCAL	PRINCIPAL ARTERIAL	MINOR ARTERIAL	COLLECTOR	LOCAL
STREETSIDE CHARACTERISTICS												
Minimum Streetside Width	15.5 ft.	14 ft.	14 ft.	12 ft.	14.5 ft.	14.5 ft.	14.5 ft.	13 ft.	19.5 ft.	19.5 ft.	16.5 ft.	16.5 ft.
Minimum Frontage Zone	1 ft.	1 ft.	1 ft.	1 ft.	1 ft.	1 ft.	1 ft.	1 ft.	3 ft.	3 ft.	3 ft.	3 ft.
Minimum Throughway Zone	6 ft.	6 ft.	6 ft.	4 ft.	6 ft.	6 ft.	6 ft.	5 ft.	9 ft.	9 ft.	6 ft.	6 ft.
Minimum Sidewalk Width ²	6 ft.	6 ft.	6 ft.	4 ft.	6 ft.	6 ft.	6 ft.	5 ft.	9 ft.	9 ft.	6 ft.	6 ft.
Minimum Bike Path Width ³	8 ft.	8 ft.	8 ft.	None	8 ft.	8 ft.	8 ft.	None	8 ft.	8 ft.	8 ft.	None
Minimum Multi-use Path Width ³	10 ft.	10 ft.	10 ft.	None	10 ft.	10 ft.	10 ft.	None	10 ft.	10 ft.	10 ft.	None
Minimum Furnishing Zone	7 ft.	6 ft.	6 ft.	6 ft.	6 ft.	6 ft.	6 ft.	6 ft.	6 ft.	6 ft.	6 ft.	6 ft.
Minimum Edge Zone	1.5 ft.	1 ft.	1 ft.	1 ft.	1.5 ft.	1.5 ft.	1.5 ft.	1 ft.	1.5 ft.	1.5 ft.	1.5 ft.	1.5 ft.

² All Sidewalks shall be ADA compliant.

³ Where a bike lane is provided within the travelled way, a bike path or multi-use path is not required, and vice versa.



PART E

Section 13 Sector Design Code

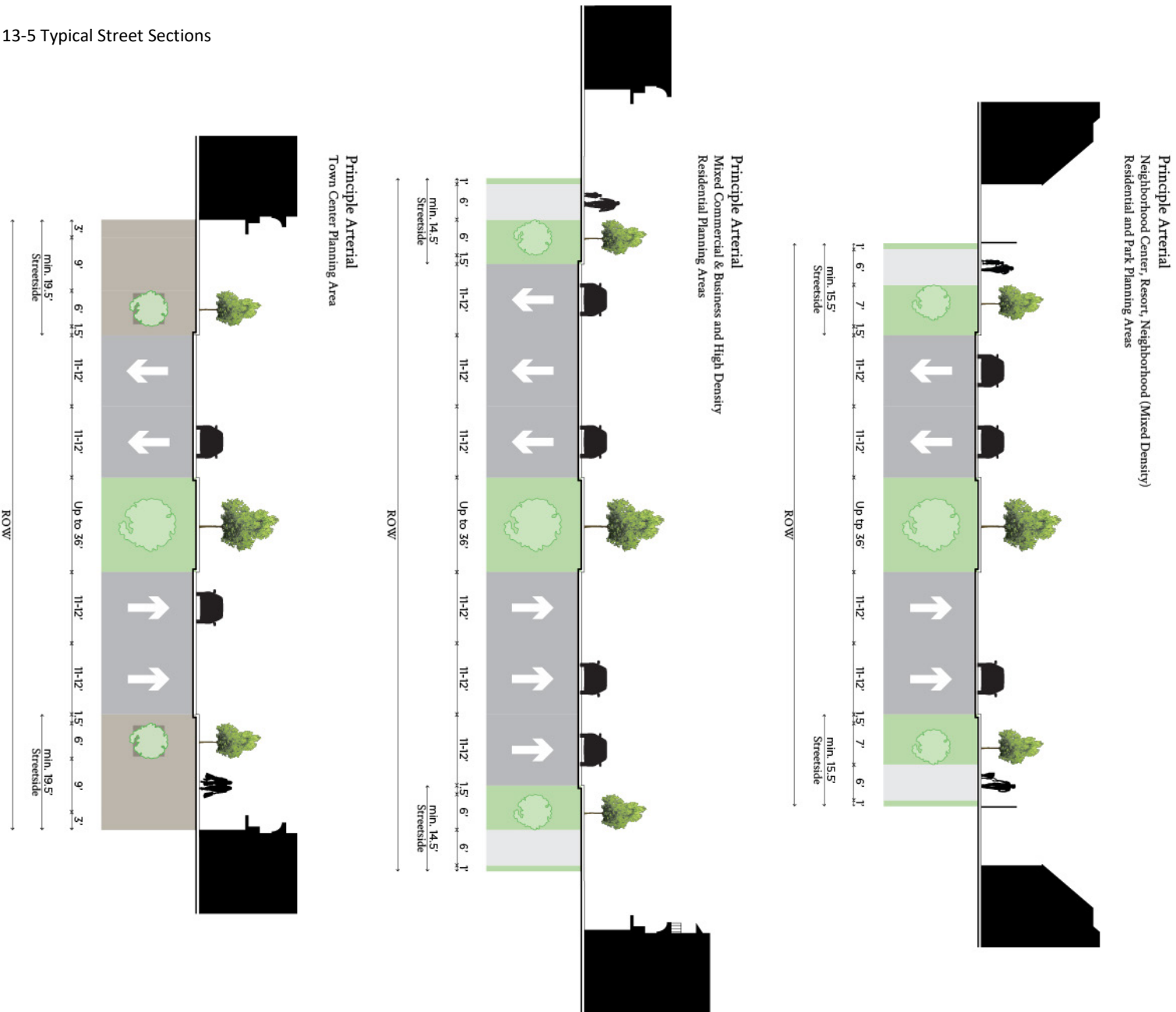


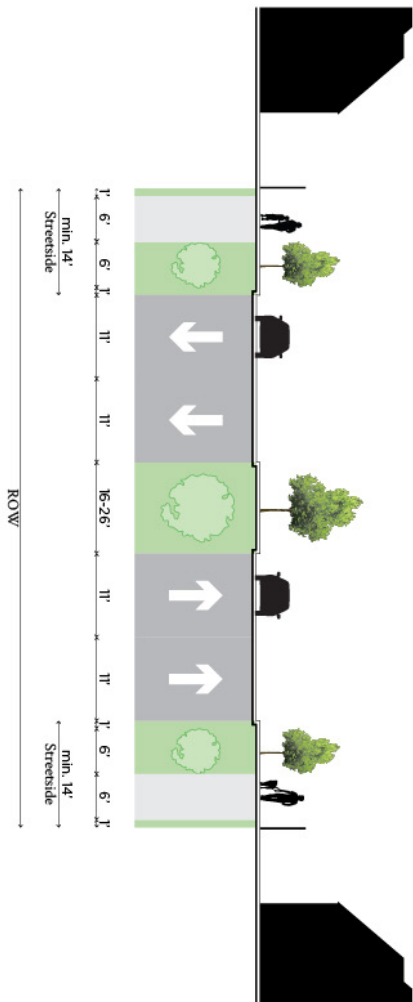
Figure 13-5 Typical Street Sections



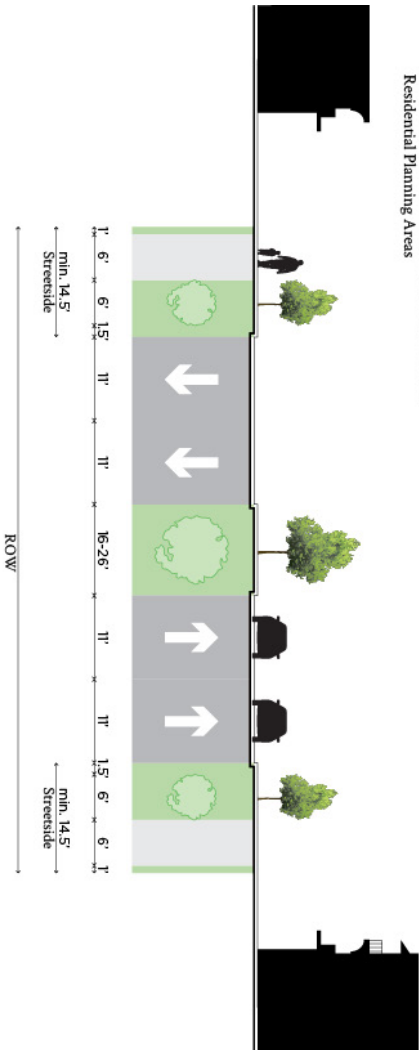
PART E

Section 13 Sector Design Code

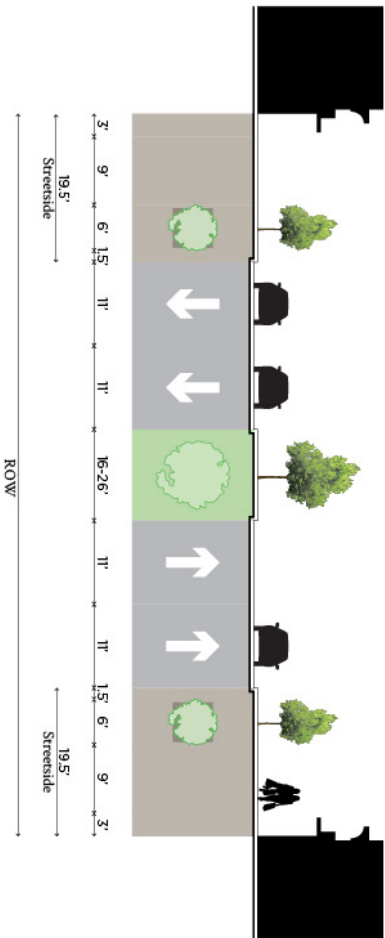
Minor Arterial Neighborhood Center, Resort, Neighborhood (Mixed Density) Residential and Park Planning Areas



Minor Arterial Mixed Commercial & Business and High Density Residential Planning Areas



Minor Arterial Town Center Planning Area

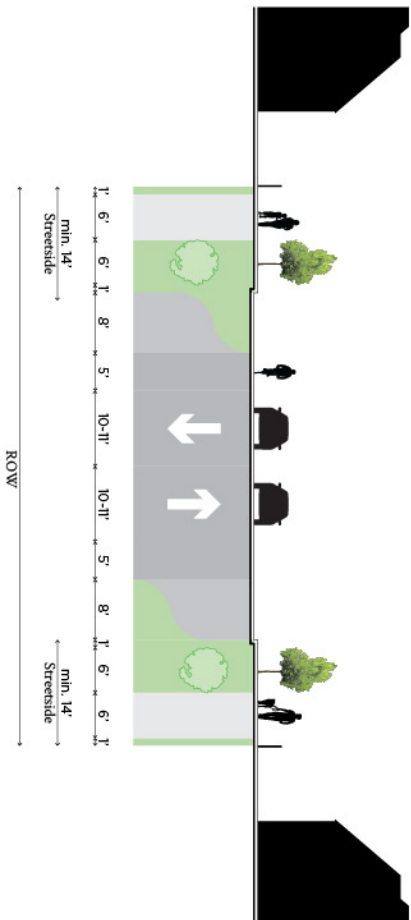




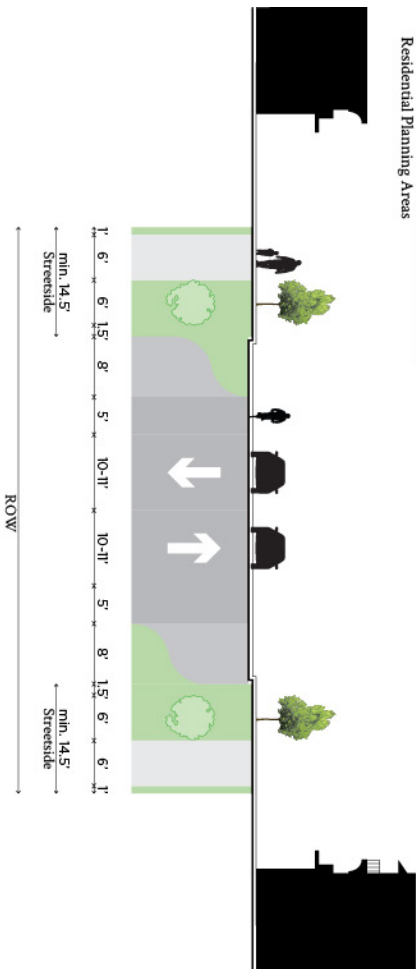
PART E

Section 13 Sector Design Code

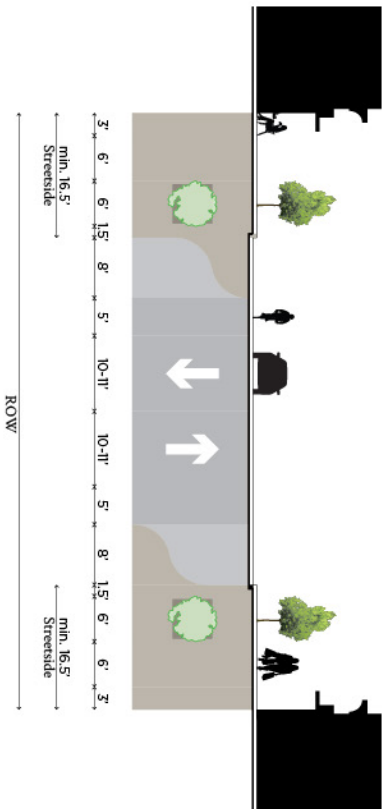
Collector with formal on-street parking and bike lanes
Neighborhood Center, Resort, Neighborhood (Mixed Density)
Residential and Park Planning Areas



Collector with formal on street parking and bike lanes
Mixed Commercial & Business and High Density
Residential Planning Areas



Collector with formal on-street parking and bike lanes
Town Center Planning Area

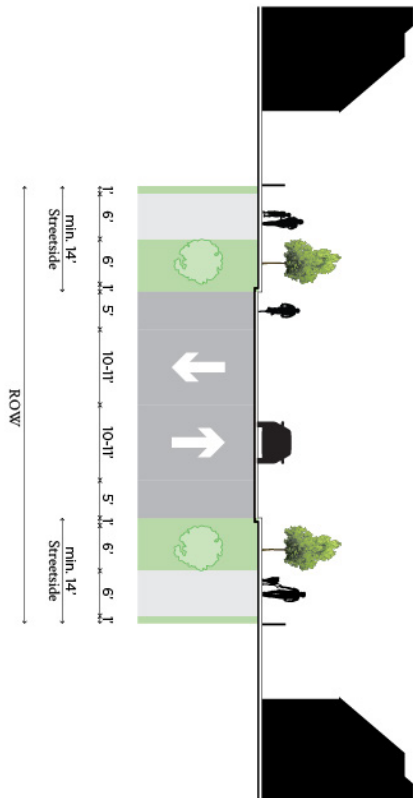




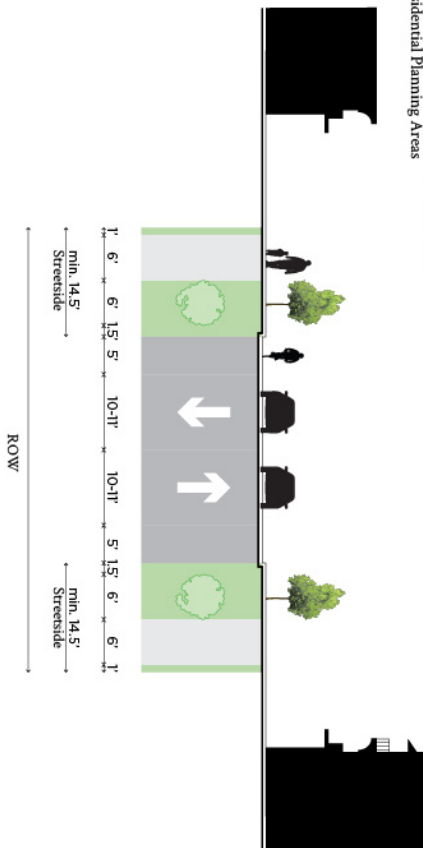
PART E

Section 13 Sector Design Code

Collector with bike lanes
Neighborhood Center, Resort, Neighborhood (Mixed Density)
Residential and Park Planning Areas



Collector with bike lanes
Mixed Commercial & Business and High Density
Residential Planning Areas

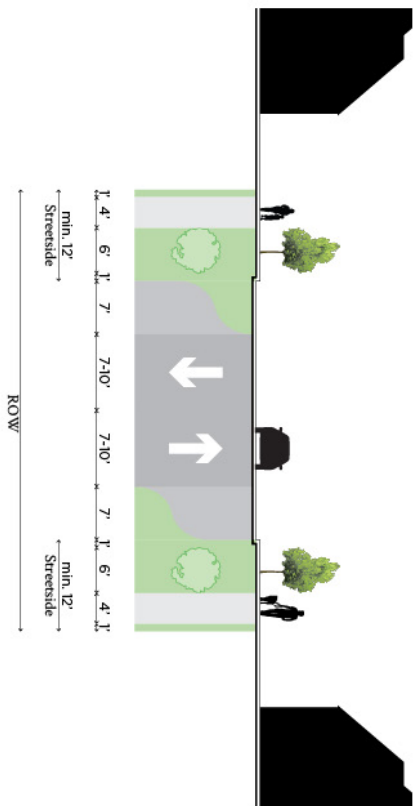




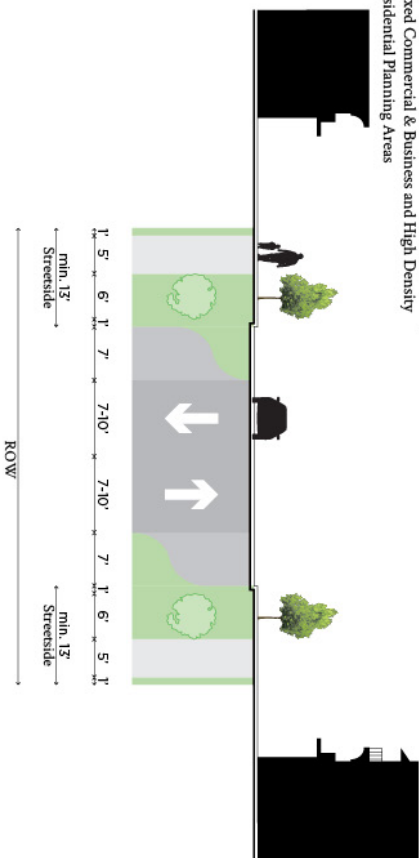
PART E

Section 13 Sector Design Code

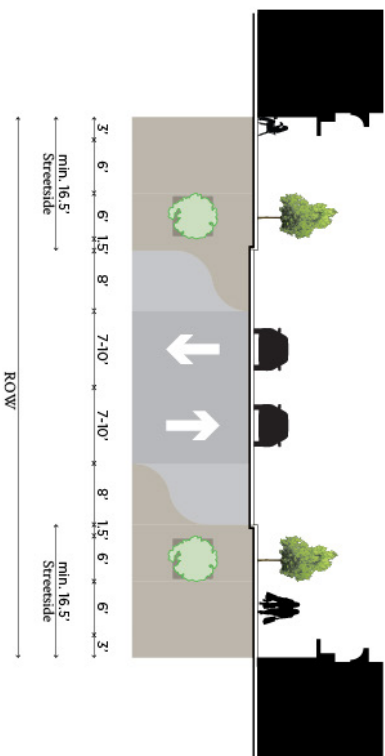
Local Street with formal on-street parking and bike lanes
Neighborhood Center, Resort, Neighborhood (Mixed Density)
Residential and Park Planning Areas



Local Street with formal on-street parking
Mixed Commercial & Business and High Density
Residential Planning Areas



Local Street with formal on-street parking
Town Center Planning Area

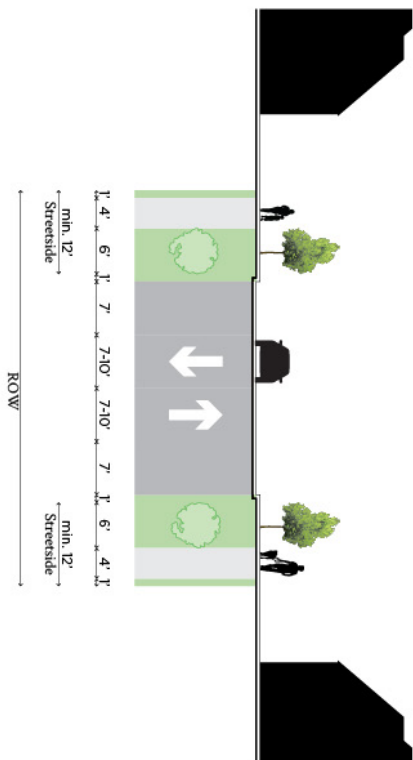




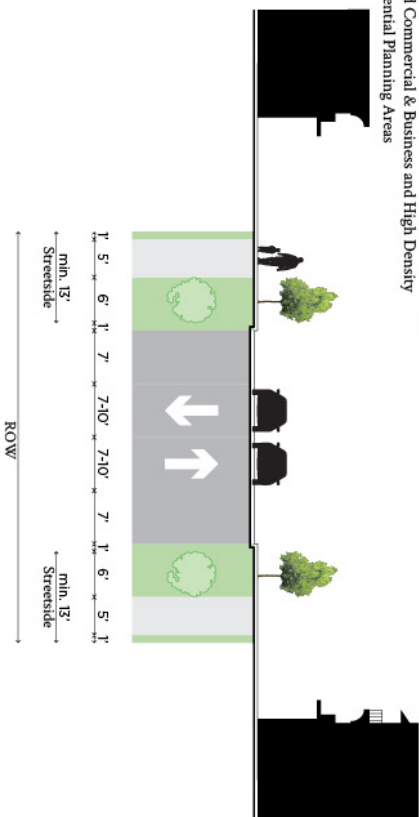
PART E

Section 13 Sector Design Code

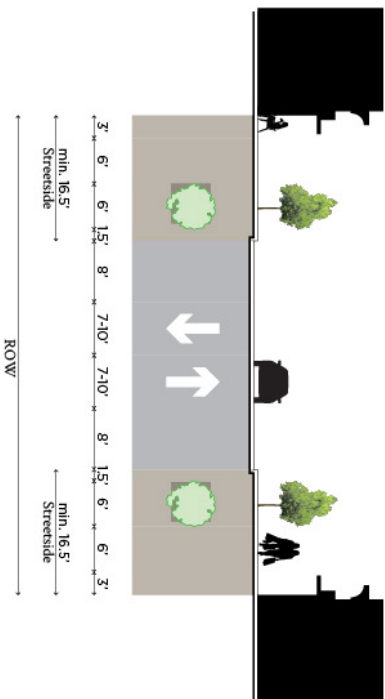
Local Street with informal on-street parking
Neighborhood Center, Resort, Neighborhood (Mixed Density)
Residential and Park Planning Areas



Local Street with informal on-street parking
Mixed Commercial & Business and High Density
Residential Planning Areas



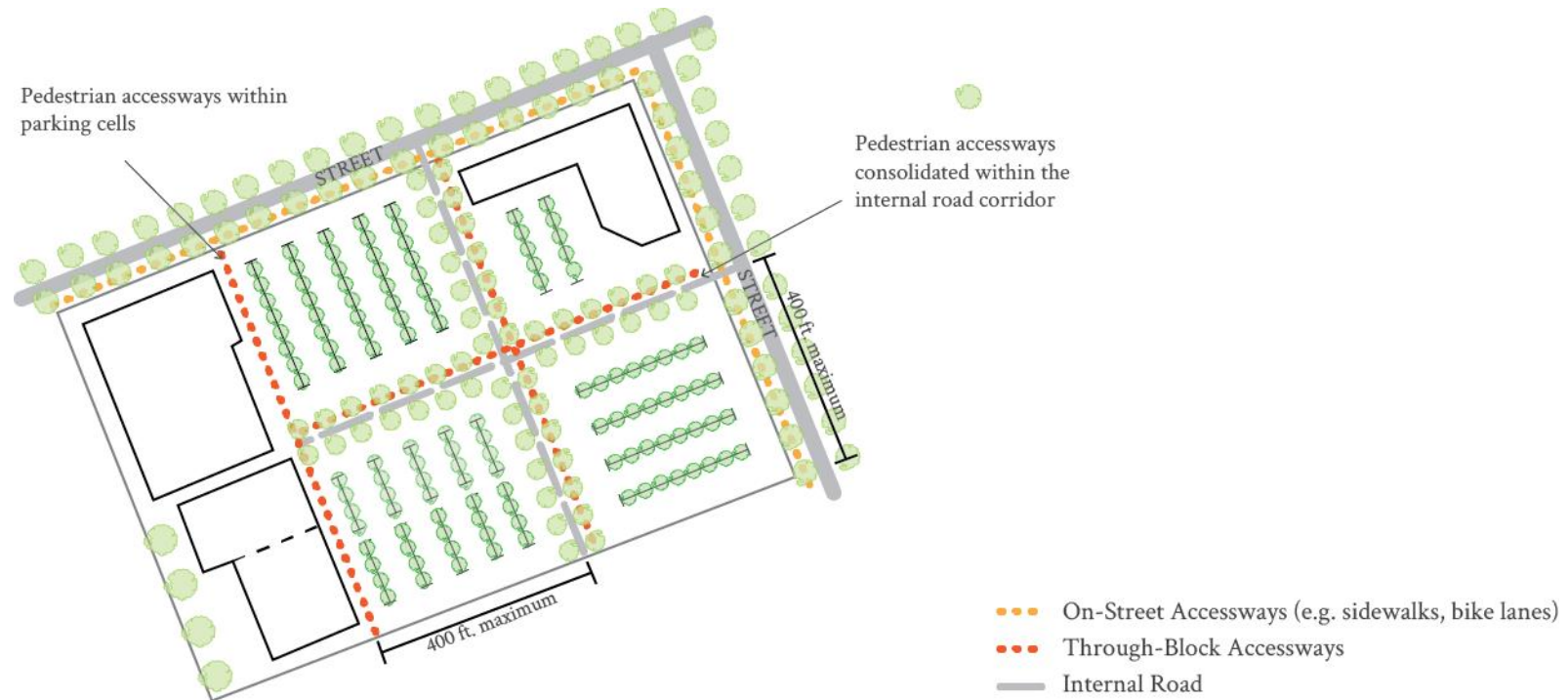
Local Street with informal on-street parking
Town Center Planning Area



13.3.5 Accessways

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Project Connectivity	1.1	Major accessways shall be provided in accordance with Plan 7-1.	Guiding Principle Objectives: 3.2 II, VI. Code Purpose: 13.2 I, II, III.
	1.2	Sidewalks, bike paths and bike lanes located within street ROW shall be provided in accordance with Table 13-2.	
	1.3	Sidewalks shall be required on both sides of a street. Where a path or trail is provided in a park and: <ul style="list-style-type: none"> that park has full frontage to the street; and the path provides continuous connectivity to the sidewalk network that path or trail may satisfy the requirement for a sidewalk on that side of the street.	
	1.4	Accessways within parks, lots or access easements shall link with adjoining sidewalks and major accessways so as to provide a connected pedestrian and cycle network – refer to Plan 6-1.	
	1.5	Multi-use paths and trails shall be a minimum width of 10 ft.	
	1.6	Bike paths and bike trails shall be a minimum of 8 ft.	
	1.7	Paths and trails, where for the exclusive use of pedestrians, shall be a minimum width of 6 ft.	
	1.8	In the Mixed Commercial & Business Planning Area, through-block accessways shall be provided every 400 ft. – refer to Figure 13-6. In the Large Format Retail Planning Sub Area, through-block accessways shall not be required every 400 ft. where such would be adjoining, or traverse service entrances and loading areas.	
	1.9	Pedestrian crossings shall be provided at the intersection of major roadways and SH Loop 337 in accordance with TxDOT standards.	

Figure 13-6 Through-Block Accessways





13.3.6 Utility Easements

		MINIMUM DEVELOPMENT STANDARD	ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Location & Design	1.1	The location and width of trunk wastewater, water, and other such utility easements shall be determined by NBU in accordance with standards published by NBU under §§118-18 and 118-31 of the Code of Ordinances or an alternative development standard proposed by the Master Developer and approved by NBU & the City.	Guiding Principle Objectives: 8.2 I, II. Code Purpose: 13.2 I, II, III.
	1.2	Where abutting local streets, electrical and communication provision shall be underground or in alleys in accordance with standards published by NBU under §§118-18 and 118-31 of the Code of Ordinances or an alternative development standard proposed by the Master Developer and approved by NBU & the City.	
	1.3	Where abutting minor arterial and collector roads, electrical and communication provision shall be either: <ul style="list-style-type: none">▪ underground;▪ in alleys;▪ on poles 30 ft. or greater in height; or▪ set back 10 ft. or greater from street trees in accordance with standards published by NBU under §§118-18 and 118-31 of the Code of Ordinances or an alternative development standard proposed by the Master Developer and approved by NBU & the City.	
	1.4	Where abutting to principal arterials, electrical and communication provision shall be provided in accordance with standards published by NBU under §§118-18 and 118-31 of the Code of Ordinances or an alternative development standard proposed by the Master Developer and approved by NBU & the City.	
	1.5	Where easements are required by private utility entities, the following Sector Plan Note shall be added: “The location and width of any private utility easement shall be to the standard recommended by the applicable private utility entity and the City Engineer. “	
	1.6	Where a proposed sector abuts an unplatted tract and a utility easement is required to be dedicated on the abutting property, the adjoining property owner shall join in the dedication of the easement, which shall be shown on the Plat.	



MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Location & Design (cont'd)	1.7	Where utility easements are not themselves straight within each block, or if such easements do not connect on a straight course with the utility easements of abutting blocks, then an additional easement shall be provided for the placing of guy wires on lot division lines in order to support utility poles.
	1.8	Where any public or private utility line is required to be adjusted in location or elevation, the applicable utility entity and the City Engineer shall approve such adjustment in the same reasonable manner as similarly situated areas of the City.
	1.9	Where two utility easements intersect or turn at a right angle, a cutoff or corner clip of not less than 10 ft. from the normal intersection of the lot line or easement boundary line shall be provided along each lot line or easement boundary line as required by the applicable utility entity.

13.3.7 Water, Wastewater and Stormwater Facilities

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
General	1.1	<p>The Applicant or Master Developer shall dedicate any such ROW or easements, and construct any such water mains, water lines, fire hydrants, sanitary sewers, storm sewers, and drainage of such, as sized to adequately service the area being subdivided, as required by the Utility Construction Cost Sharing Agreement and this DDCD.</p> <p>All ROW, easements and facilities shall be constructed to the standard required by the Utility Construction Cost Sharing Agreement, Chapter 118 of the Code of Ordinances and approved construction plans.</p>	<p>Guiding Principle Objectives: 8.2 I, II, III.</p> <p>Code Purpose: 13.2 I, II, III.</p>
Water	2.1	All subdivisions shall be provided with water supply and connected to the water distribution system, to the standard required by the Utility Construction Cost Sharing Agreement and Chapter 118 of the Code of Ordinances.	<p>Guiding Principle Objectives: 8.2 I, II, III.</p> <p>Code Purpose: 13.2 I, II, III.</p>
	2.2	Fire hydrants shall be installed as part of the water distribution system to the standard required by Chapter 118 of the Code of Ordinances.	
	2.3	Fire flow shall be provided to all lots to the standard required by Chapter 54 of the Code of Ordinances.	
Wastewater	3.1	All subdivisions shall be connected to the sanitary sewer system, to the standard required by the Utility Construction Cost Sharing Agreement and Chapter 118 of the Code of Ordinances.	<p>Guiding Principle Objectives: 8.2 I, II, III.</p> <p>Code Purpose: 13.2 I, II, III.</p>
Extension to Abutting Undeveloped Tracts	4.1	Where a subdivision abuts an undeveloped tract, utilities shall be extended to the abutting lot line to allow connection of these utilities by adjoining property owners.	<p>Guiding Principle Objectives: 8.2 I, II, III.</p> <p>Code Purpose: 13.2 I, II, III.</p>



MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Drainage Easement	5.1	<p>Natural streams and channels shall be used to carry runoff for watersheds 64 acres or greater.</p> <p>Where a subdivision is traversed by a drainage way, natural channel or stream, there shall be provided an easement or ROW conforming substantially to the 100-year flood event floodplain limits of the waterway, assuming fully developed watershed conditions, calculated in the same manner of the Stormwater Management Report.</p> <p>For watersheds less than 64 acres, use of natural channels and streams to convey runoff shall be permitted, but not required.</p> <p>Note:</p> <p>Where utilizing natural channels and streams to convey runoff, low impact development measures are encouraged. In the context of this Development Standard, an application may not be denied or rejected based on failure to implement low impact development measures.</p>
	5.2	<p>Stormwater easements of 15 ft. minimum width shall be provided for existing and proposed enclosed stormwater facilities and improvements. Easements shall be centered on the improvement.</p> <p>Larger easements for enclosed stormwater facilities shall be provided to the extent required for multiple box culverts, or other wider storm sewers to allow for future access and maintenance as approved by the City Engineer.</p>
	5.3	<p>Stormwater easements shall be provided along one side of proposed or existing constructed open channels to provide ingress and egress of maintenance equipment, clearance from fences and space for utility poles, maintenance of the channel bank, and adequate slopes, as defined by the <i>Drainage and Erosion Control Design Manual</i>, necessary along the bank.</p> <p>The minimum width of such easements shall be in accordance with the <i>Drainage and Erosion Control Design Manual</i> or fully developed 100-year flood event floodplain limits plus 14 ft. Easement width should be measured outward from the centerline of the watercourse, $\frac{1}{2}$ of the dimension to the right and $\frac{1}{2}$ to the left of center; additional access easement shall be 10 ft. on one side and 4 ft. on the other for future access and maintenance.</p> <p>Cross slope of said 14 ft. access area shall not exceed 5 percent.</p>
	5.4	<p>Stormwater easements shall provide emergency overflow drainage ways of sufficient width to contain within the easement stormwater resulting from a 100-year flood event assuming fully developed upstream watershed internal to the project less the amount of stormwater carried in any enclosed system.</p>



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Installation of Drainage System	6.1	<p>Stormwater management shall be consistent with the requirements of Section 5 of the Development Agreement and the Stormwater Management Report.</p> <p>Stormwater management systems may consist of pipes, swales, natural features, manmade improvements, and low impact development measures outlined in Table 13-3.</p> <p>New or innovative measures, not listed in Table 13-3 shall be subject to the recommendation of the City Engineer.</p> <p>Note:</p> <p>Any Applicant may, at their election, propose a new or innovative drainage measure. An application shall not be denied or rejected based on the Applicant's decision not to utilize a drainage measure not identified in Table 13-3.</p>	<p>Guiding Principle Objectives: 4.2 VI, VII, VIII; 8.2 I, II, III, IV, V.</p> <p>Code Purpose: 13.2 I, II, III.</p>
	6.2	Stormwater management and water quality measures shall comply with Section 5 of the Development Agreement.	
	6.3	The integration of low impact development measures in parks shall be permitted so long as the integration of such measure does not compromise the achievement of a standard set forth in this Section – refer to Figure 13-7.	
	6.4	The integration of low impact development measures in ROW shall be permitted so long as the integration of such measures does not compromise the achievement of a standard set forth in this Section – refer to Figure 13-8.	
Flood Hazard - General	7.1	Where a residential or non-residential lot is located within the 100-year flood event floodplain, such lots shall nominate a building envelope that shall be located entirely outside the floodplain.	<p>Guiding Principle Objectives: 4.2 VI, VII, VIII; 8.2 I, II, III, IV.</p> <p>Code Purpose: 13.2 I, II, III.</p>
	7.2	All public utilities and associated easements such as water, wastewater, gas and electric shall comply with §58-30 of the Code of Ordinances, and any applicable NBU policy at the time of submittal.	
	7.3	Stormwater management systems shall be provided in accordance with Section 5 of the Development Agreement and the Stormwater Management Report.	
Flood Hazard – General	8.1	Where a residential or non-residential lot is located within a dam breach zone as defined by the Stormwater Management Report, such lots shall nominate a building envelope that shall be located entirely outside the dam breach zone.	<p>Guiding Principle Objectives: 4.2 VI, VII, VIII; 8.2 I, II, III, IV.</p> <p>Code Purpose: 13.2 I, II, III.</p>
Flood Hazard - Water and Wastewater Systems	9.1	Watertight manholes shall be provided for proposed sanitary wastewater mains that are located within the fully developed 100-year flood event floodplain.	<p>Guiding Principle Objectives: 4.2 VI, VII, VIII; 8.2 I, II, III, IV.</p> <p>Code Purpose: 13.2 I, II, III.</p>



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Flood Hazard - Floodplain	10.1	When a proposed subdivision has within it a drainage way where no regulatory floodway has been designated, no new construction, substantial improvements or other development, including fill, shall be permitted in an area that may have flood hazards, unless it is demonstrated that the cumulative effect of the proposed development or improvements, when combined with all other existing and anticipated development and improvements will not increase the 100-year flood event floodplain, except as allowed by Development Standard 10.5 below.	Guiding Principle Objectives: 4.2 VI, VII, VIII; 8.2 I, II, III, IV. Code Purpose: 13.2 I, II, III.
	10.2	In areas where a floodway is mapped and approved by the City, Applicant shall designate a drainage easement/s for the floodway.	
	10.3	In areas where a floodway is mapped and approved by the City, any proposed disturbance or alteration of the terrain shall require a flood study or demonstration of no flood height increase for the FEMA 100-year floodplain.	
	10.4	If a proposed subdivision is within an area where flooding may occur, where there is no floodplain shown on a City-approved map, or where there is located an approved floodplain but no floodway, the Applicant shall: <ul style="list-style-type: none">▪ conduct a study of where the 100-year flood event elevation would be, assuming a fully developed watershed; show a drainage easement on the Plat, and show the elevation of the flood plain at intervals of every 500 linear ft.; and▪ conduct a study, using HEC or similar modeling that is approved by the City, to ensure that the proposed development would not increase the elevation of the 100-year flood event; or▪ request a waiver from the above requirement. The request for waiver shall be to assess the proposed density, land use, lot sizes, building sizes, anticipated impervious cover, and the width and depth of the existing floodplain. All waiver requests shall be considered and decided by the Planning Commission.	
	10.5	All development shall adhere to requirements of the <i>Flood Damage Prevention Ordinance</i> approved between the City and FEMA.	
Flood Hazard System Design	11.1	Stormwater management improvements shall be designed to convey runoff from the upstream drainage area in its anticipated maximum 'built out' or 'fully developed' condition, calculated in the same manner as the Stormwater Management Report.	Guiding Principle Objectives: 4.2 VI, VII, VIII; 8.2 I, II, III, IV. Code Purpose: 13.2 I, II, III.



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Alterations to Existing Drainage Ways	12.1	<p>Where alterations to existing drainage ways are required, the following Sector Plan Note shall be added:</p> <p>“No individual or entity shall deepen, widen, fill, reclaim, reroute or change the course or location of any existing ditch, channel, stream or drainage way without the approval of the City or in accordance with an approved engineering or Stormwater Management Report.</p> <p>A grading permit shall be obtained from the City Engineer in addition to any other applicable agency having jurisdiction, such as FEMA or USACE.”</p>	<p>Guiding Principle Objectives: 4.2 VI, VII, VIII; 8.2 I, II, III.</p> <p>Code Purpose: 13.2 I, II, III.</p>
Access to Subdivisions	13.1	<p>New ‘island’ subdivisions, lots or streets that would be surrounded by floodwater of a fully developed 100-year flood event shall not be allowed unless the area is accessible to high ground by a street elevated above the fully developed 100-year flood event level and dam breach zone and this street and embankment is designed to withstand a fully developed 100-year flood event and dam breach zone.</p>	<p>Guiding Principle Objectives: 4.2 VI, VII, VIII; 8.2 I, II, III.</p> <p>Code Purpose: 13.2 I, II, III.</p>
Drainage and Flood Plat Easements	14.1	<p>The following Sector Plan Note shall be added:</p> <p>“All storm drainage and flood easements and all 100-year flood event elevations shall be shown on the Final Plat with a plat note stating that no development, building or structure is permitted within the easement and stating who will be responsible for maintaining the easement. Flood and storm drainage easements shall be of adequate width to accommodate drainage flows and the width of such easement shall be determined by the City Engineer in the same manner as similarly situated areas of the City.”</p>	<p>Guiding Principle: 8.2 I, II, III.</p> <p>Code Purpose: 13.2 I, II, III.</p>

Table 13-3 Stormwater Management Facilities and Improvements

MEASURE	STORMWATER		APPLICABILITY			PERMITTED IN ALL LOCATIONS, BUT RECOMMENDED IN THE FOLLOWING PLANNING AREAS:
	DETENTION	QUALITY	SITE SCALE	SECTOR SCALE	PROJECT SCALE	
AquaLogic® Cartridge System		●	●			All
Bioretention	●	●	●	●		All
Constructed Wetlands	●	●	●	●	●	Park Planning Area
Extended Detention Ponds	●	●	●	●	●	Neighborhood (Mixed Density) Residential Planning Area, Park Planning Area
Grassy Swales		●	●	●		High Density Residential Planning Area, Neighborhood (Mixed Density) Residential Planning Area, Park Planning Area,
Natural Area Preservation		●	●	●	●	Park Planning Area
Porous Pavements/ Permeable Concrete		●	●	●		All
Rain Gardens	●	●	●	●		All
Rainwater Harvesting			●			All
Retention/Irrigation	●	●	●	●	●	Neighborhood (Mixed Density) Residential Planning Area, Park Planning Area
Riparian Vegetation Buffers/Rehabilitation		●	●	●	●	Park Planning Area
Roof Top Disconnection		●	●			All
Sand Filter Systems		●	●	●		All
Soil Amendment and Conservation Landscaping		●	●	●	●	All
Vegetative Filter Strips		●	●	●		All
Wet Basins	●	●	●	●	●	Park Planning Area
Any measure in the TCEQ's <i>Technical Guidance Manual</i> at the time of submittal for use over the Edwards Aquifer Recharge Zone shall be allowed to meet TSS requirements as set forth in the Development Agreement. Minimum size of BMP shall be as defined by TCEQ, or if not defined by TCEQ, the City Engineer. The Applicant shall be responsible for obtaining TCEQ approval.						

Figure 13-7 Example of integration of low impact development measures in Parks

Source: CSIRO, 2006, Urban Stormwater Best Practice Environmental Management Guidelines.

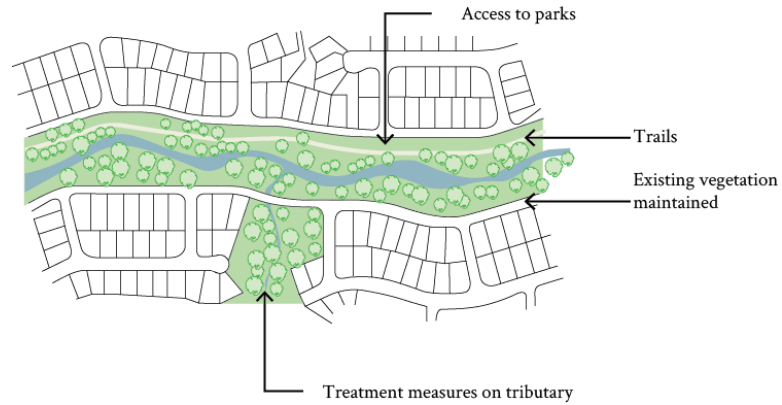
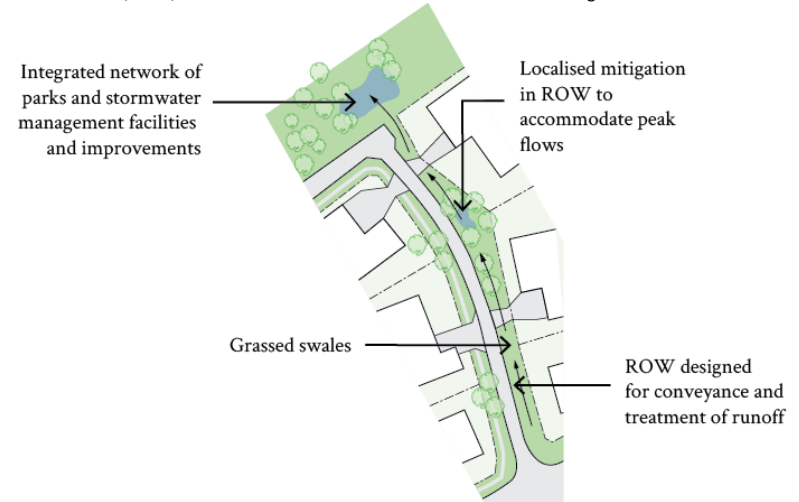


Figure 13-8 Example of integration of low impact development measures in ROW

Source: CSIRO, 2006, Urban Stormwater Best Practice Environmental Management Guidelines.





13.4 Development Standards for Specialized Areas

For applications within Specialized Areas, the application shall comply with the additional minimum development standards of this section unless superseded by approved alternative development standards. Where there is a conflict between this Code and other codes, such a conflict is to be resolved in accordance with Figure 2-2.

13.4.1 Town Center Planning Area

Reserved.

13.4.2 Large Format Retail Planning Sub Area Specialized Area Plan

The standards in this section shall be read in conjunction with any approved Specialized Area Plan(s) for the Large Format Retail Planning Sub Area in Appendix 7.

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Promenade Orientation	1.1	A promenade shall be provided in a central location within the Large Format Retail Planning Sub Area, as generally depicted in the approved Specialized Area Plan. The precise alignment, orientation, extent and configuration of the promenade is to be determined at plat stage following detailed engineering design.	Guiding Principle Objectives: 3.2 II, VI, VII; 5.2 II, III; 7.2 I, II. Planning Area Objectives: 9.2.1 II, III, IV, VI, XII, XIII. Code Purpose: 13.2 III; 16.2 I, II, III, IV, V, VI.
	1.2	The promenade is permitted to be extended beyond the spatial extent depicted in the approved Specialized Area Plan where necessary, practical and/or desirable based on development within the Large Format Retail Planning Sub Area.	
	1.3	The promenade may be dedicated as a public or private street.	
	1.4	The design of the promenade shall be in accordance with Section 16.3.2 Development Standards 1.1 and 1.2.	
Maximum Gross Floor Area	2.1	<p>The gross floor area of all non-residential development within the Large Format Retail Planning Sub Area shall not exceed 1,620,000 sq. ft., generally as follows:</p> <ul style="list-style-type: none">▪ Precinct 7: a maximum of 120,000 sq. ft.;▪ Precinct 8: a maximum of 400,000 sq. ft.;▪ Precinct 9: a maximum of 100,000 sq. ft.;▪ Precinct 10A: a maximum of 500,000 sq. ft; and▪ Precinct 11A: a maximum of 500,000 sq. ft. <p>Development within an individual precinct may exceed the stated maximum gross floor area by no more than 10 percent, provided the overall maximum gross floor area for the Large Format Retail Planning Sub Area does not exceed 1,620,000 sq. ft.</p>	Guiding Principle Objectives: 3.2 II, IV; 6.2 I, II, IV. Planning Area Objectives: 9.2.1 I, X, XI, XII, XIII, XIV. Code Purpose: 13.2 II, III; 16.2 II, III.



MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Civic Spaces	<p>3.1 A minimum of three civic spaces, such as (but not limited to) a square, park, paseo or plaza, shall be provided within the Large Format Retail Planning Sub Area. Opportunity locations for civic spaces are shown in the Large Format Retail Specialized Area Plan. The precise alignment, orientation and configuration of civic spaces is to be determined at plat stage following detailed engineering design, but shall be generally in the following locations:</p> <ul style="list-style-type: none">▪ A minimum of two civic spaces shall be located along or directly abutting the promenade; and▪ A minimum of one civic space shall be west of Roadway B. <p>Additional civic spaces and other outdoor common areas may be designated.</p> <p>3.2 The design and amenities within each civic space will be determined based on detailed design and coordinated programming, as outlined in Section 16.3.</p>	<p>Guiding Principle Objectives: 3.2 VI; 5.2 II, III, VI; 6.2 I, II, IV; 7.2 I, II.</p> <p>Planning Area Objectives: 9.2.1 X, XI, XII, XIII.</p> <p>Code Purpose: 13.2 III; 16.2 I, II, III, IV, V, VI.</p>
Internal Vehicular Connectivity	<p>4.1 Vehicle Access: Vehicular connectivity within the Large Format Retail Planning Sub Area shall occur through an interconnected network of public and/or private streets that:</p> <ul style="list-style-type: none">▪ provide convenient ingress/egress to the surrounding arterial and collector roads;▪ facilitate legible access within the precinct and easily identifiable paths of travel to parking areas;▪ prioritize pedestrians and/or bicycles in pedestrian-oriented areas; and▪ minimize cut through traffic within the precinct. <p>The precise alignment, orientation and configuration of vehicle streets is to be determined at plat stage following detailed engineering design. The minimum vehicle connectivity shall be generally as follows:</p> <p><i>Precincts 8 and 9:</i></p> <ul style="list-style-type: none">▪ a minimum of two routes providing vehicular connection centrally within Precinct 8 from the Roadway D ROW;▪ a minimum of two routes providing vehicular connection centrally to the combined Precinct from both the SH-Loop 337 and Roadway C ROWs.	<p>Guiding Principle Objectives: 3.2 VI, VII; 7.2 I, II, III</p> <p>Planning Area Objectives: 9.2.1 II, IV, VI, XI, XII, XIII, XIV.</p> <p>Code Purpose: 13.2 III; 16.2 I, II, III, IV, V, VI.</p>



	MINIMUM DEVELOPMENT STANDARD	ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Internal Vehicular Connectivity (cont'd)	<p><i>Precinct 10A:</i></p> <ul style="list-style-type: none">▪ a minimum of one route providing vehicle connection between the Roadway B and Roadway D ROWs;▪ a minimum of one route providing vehicular connection between the SH-Loop 337 and Roadway C ROWs; and▪ a minimum of one route providing vehicular connection between the Roadway C ROW and the vehicle route described in dot point 1 above near its intersection with Roadway D. <p><i>Precinct 11A:</i></p> <ul style="list-style-type: none">▪ a minimum of one route providing vehicular connection between the SH-Loop 337 and Roadway C ROWs;▪ a minimum of one route providing vehicular connection centrally within the Precinct from the Roadway C ROW; and▪ a minimum of one route providing vehicular connection centrally within the Precinct from the Roadway B ROW. <p>The routes described above are conceptually shown in the approved Large Format Retail Specialized Area Plan. Additional vehicle routes may be designated. Routes may be one single vehicle street and/or made up of sections comprising of multiple streets. Routes are not required to be linear and/or continuous in nature and may jog provided the path of travel is clearly identifiable.</p> <p>4.2 Vehicle streets within the Large Format Retail Planning Sub Area may be designated as public or private streets.</p> <p>4.3 Driveway Locations: The conceptual locations where driveways between precincts and the pre-existing public road network are permitted are shown in the Large Format Retail Specialized Area Plan as Driveway Access Zones. The precise alignment, orientation and configuration of driveways is to be determined at plat stage following detailed engineering design and coordination with TxDOT, but shall be generally as follows:</p> <p><i>SH-Loop 337:</i></p> <ul style="list-style-type: none">▪ Per the requirements and specifications of TxDOT.	



MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE	
Internal Vehicular Connectivity (cont'd)	<i>Roadway B:</i>		
	<ul style="list-style-type: none">No driveway shall be closer than 250 ft to SH-Loop 337, with the recommended offset being 300 ft.;No driveway shall be closer than 250 ft to Roadway C, with the recommended offset being 300 ft.;The minimum spacing between driveways is 250 ft.; andAll driveways shall be designed to allow right-in / right-out vehicle turn movements only, except for the promenade which may be designed to allow full vehicle turn movements.		
	<i>Roadway C:</i>		
	<ul style="list-style-type: none">No driveway shall be closer than 250 ft to Roadway B, with the recommended offset being 300 ft.;No driveway shall be closer than 250 ft to Roadway D, with the recommended offset being 300 ft.;The minimum spacing between driveways is 250 ft.; andDriveways are permitted to be designed to allow full vehicle turn movements.		
	<i>Roadway D:</i>		
4.4	<ul style="list-style-type: none">No driveway shall be closer than 360 ft to SH-Loop 337, with the recommended offset being 450 ft.;No driveway shall be closer than 250 ft to Roadway C, with the recommended offset being 300 ft.;The minimum spacing between driveways is 250 ft.;All driveways shall be designed to allow right-in / right-out vehicle turn movements only.		
	<i>Roadway F:</i>		
	<ul style="list-style-type: none">No driveway shall be closer than 250 ft to SH-Loop 337, with the recommended offset being 300 ft.; andThe minimum spacing between driveways is 250 ft.		
	All other street, driveway and vehicle connectivity requirements shall be per Sections 13.3.4 and 16.3.2.		



MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Internal Pedestrian & Bicycle Connectivity	<p>5.1</p> <p>Pedestrian and/or bicycle connectivity within the Large Format Retail Planning Sub Area shall occur through an interconnected network of accessways that:</p> <ul style="list-style-type: none">▪ provide convenient ingress/egress to the surrounding pedestrian and bicycle network;▪ facilitate legible access within the precinct and easily identifiable paths of travel; and▪ prioritize pedestrians and/or bicycles in pedestrian-oriented areas. <p>The precise alignment, orientation and configuration of pedestrian and/or bicycle accessways is to be determined at plat stage following detailed engineering design and shall ensure the implementation of required major accessways identified in the Master Framework Plan, Supporting Framework Plans and sector plans as applicable. The minimum pedestrian and/or bicycle connectivity shall be generally as follows:</p> <p><i>Loop 337 Green Ribbon:</i></p> <ul style="list-style-type: none">▪ Shall be per Section 28.3.4 Development Standards 2.1 to 2.4. <p><i>Precincts 8 & 9:</i></p> <p>In addition to the Loop 337 Green Ribbon requirements:</p> <ul style="list-style-type: none">▪ a minimum of one route providing pedestrian and/or bicycle connection between the Roadway D ROW and the Oakwood Church project;▪ a minimum of one route providing pedestrian and/or bicycle connection extending centrally within Precinct 8 from the Roadway D ROW;▪ a minimum of two routes pedestrian and/or bicycle connection between the Loop 337 Green Ribbon and the Roadway C ROW.	<p>Guiding Principle Objectives: 3.2 II, VI; 5.2 III; 7.2 I, II, III.</p> <p>Planning Area Objectives: 9.2.1 III, VI, VIII, XII.</p> <p>Code Purpose: 13.2 III; 16.2 III, IV.</p>



MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Internal Pedestrian & Bicycle Connectivity (cont'd)	<p><i>Precinct 10A:</i></p> <p>In addition to the Loop 337 Green Ribbon requirements:</p> <ul style="list-style-type: none"> a minimum of one route providing pedestrian and/or bicycle connection within and/or along the promenade required by Development Standard 1.1 above; a minimum of one route providing pedestrian and/or bicycle connection between the Roadway B and Roadway D ROWs; a minimum of three routes providing pedestrian and/or bicycle connection between the Loop 337 Green Ribbon and the Roadway C ROW; and a minimum of one route providing pedestrian and/or bicycle connection extending centrally within Precinct 10A from the Roadway C ROW. <p><i>Precinct 11A:</i></p> <p>In addition to the Loop 337 Green Ribbon requirements:</p> <ul style="list-style-type: none"> a minimum of one route providing pedestrian and/or bicycle connection extending centrally within the precinct from the Roadway B ROW; a minimum of three routes providing pedestrian and/or bicycle connection between the Loop 337 Green Ribbon and the Roadway C ROW; <p>The routes described above are conceptually shown in the approved Specialized Area Plan. Additional pedestrian and/or bicycle routes may be designated. Routes may be one single pedestrian and/or bicycle accessway and/or made up of sections comprising of multiple accessways. Routes are not required to be linear and/or continuous in nature, and may jog provided the path of travel is clearly identifiable.</p>	
	<p>5.2 Pedestrian and bicycle accessways may be integrated within the right of way of a vehicle street.</p> <p>5.3 All other pedestrian connectivity requirements shall be per Sections 13.3.5 and 16.3.2.</p>	
Parking Areas	<p>6.1 Parking areas shall be provided in locations that are most practical based on the spatial layout of buildings. Parking should generally be located adjacent to major vehicle entry points to the Large Format Retail Planning Sub Area and at the junction of internal vehicle streets. Parking Opportunity locations are conceptually shown on the Large Format Retail Specialized Area Plan. Additional or fewer parking areas may be designated.</p>	<p>Guiding Principle Objectives: 5.2 III; 7.2 I, II, III.</p> <p>Planning Area Objectives: 9.2.1 IV, V, XI.</p> <p>Code Purpose: 13.2 III, 16.2 II, III, IV, V; 32.2 II, III, IV.</p>



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Parking Areas (cont'd)	6.2	The design of parking areas and the required number of parking bays shall be in accordance with Section 32.	
	6.3	A minimum of two off-street passenger drop-off areas shall be provided along, or immediately adjacent to, the promenade. The precise alignment, orientation and configuration of each drop-off areas is to be determined at plat stage following detailed engineering design and shall satisfy the requirements of Section 14.3.5 Development Standard 18.1.	
Building Frontages	7.1	<p>Buildings shall be designed to have their primary frontage towards the nearest adjoining roadway, accessway or public space. If a building has multiple frontages, the primary frontage shall be determined based on the following hierarchy:</p> <ul style="list-style-type: none">▪ Promenade;▪ Civic space;▪ Public common area;▪ Stand-alone pedestrian and bicycle accessway;▪ SH-Loop 337 / Loop 337 Green Ribbon;▪ Roadway D;▪ Roadway B;▪ Roadway C;▪ East-west vehicle street;▪ North-south vehicle street.	<p>Guiding Principle Objectives: 3.2 I, II, IV; 6.2 I, II, IV.</p> <p>Planning Area Objectives: 9.2.1 X, XI, XII, XIII.</p> <p>Code Purpose: 13.2 II, III; 16.2 II, III, IV, VI.</p>

13.4.3 Neighborhood Center Planning Area Specialized Area Plan

The standards in this section shall be read in conjunction with any approved Specialized Area Plan(s) for the Neighborhood Center Planning Area in Appendix 7.

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Maximum Gross Floor Area	1.1	<p>The gross floor area of all non-residential development within the Neighborhood Center Planning Area shall not exceed the following:</p> <ul style="list-style-type: none">▪ Precinct 15A: a maximum of 100,000 sq. ft.	<p>Guiding Principle Objectives: 3.2 I, II, IV; 6.2 I, II, IV.</p> <p>Planning Area Objectives: 9.3.1 I, II.</p> <p>Code Purpose: 13.2 II, III; 18.2 II.</p>

13.4.4 Resort Planning Area Specialized Area Plan

The standards in this section shall be read in conjunction with any approved Specialized Area Plan(s) for the Resort Planning Area in Appendix 7.

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Primary Access Drive	1.1	A Primary Access Drive shall be provided in a central location within the Resort Planning Area, as generally depicted in the approved Specialized Area Plan. The precise alignment, orientation, extent and configuration of the promenade is to be determined at plat stage following detailed engineering design.	Guiding Principle Objectives: 3.2 V, VI, VIII, IX; 6.2 VI; 7.1 I, II. Planning Area Objectives: 9.4.1 I, IV. Code Purpose: 13.2 III.
	1.2	The Primary Access Drive is permitted to be extended beyond the spatial extent depicted in the approved Specialized Area Plan where necessary, practical and/or desirable based on development within the Resort Planning Area.	
	1.3	The Primary Access Drive may be dedicated as a public or private street.	
Maximum Gross Floor Area	2.1	The gross floor area of all non-residential development within the Resort Planning Area shall not exceed a maximum of 1,500,000 sq. ft.	Guiding Principle Objectives: 3.2 II, IV, V; 5.2 III; 6.2 II, VI. Planning Area Objectives: 9.4.1 I. Code Purpose: 13.2 II, III.
Internal Vehicular Connectivity	3.1	<p>Vehicle Access: Vehicular connectivity within the Resort Planning Area shall:</p> <ul style="list-style-type: none"> be minimized to the extent required to provide suitable access to development cells within the precinct; facilitate legible access within the precinct and easily identifiable paths of travel to parking areas; minimize cut through traffic within the precinct. <p>The precise alignment, orientation and configuration of vehicle streets is to be determined at plat stage following detailed engineering design. The minimum vehicle connectivity shall be generally as follows:</p> <ul style="list-style-type: none"> a circular Ring Road in Development Cell 1 at the junction of the Primary Access Drive; a minimum of one route providing vehicular connection into Development Cell 2; and a minimum of one route providing vehicular connection into Development Cell 3. <p>The routes described above are conceptually shown in the approved Resort Planning Area Specialized Area Plan. Additional vehicle routes may be designated. Routes may be one single vehicle street and/or made up of sections comprising of multiple streets. Routes are not required to be linear and/or continuous in nature and may jog provided the path of travel is clearly identifiable.</p>	Guiding Principle Objectives: 3.2 V, VI, VIII; 6.2 VI; 7.1 I, II. Planning Area Objectives: 9.4.1 I, IV. Code Purpose: 13.2 III.



MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Internal Vehicular Connectivity (cont'd)	3.2	Vehicle streets within the Resort Planning Area may be designated as public or private streets.
	3.3	Driveway Locations: The conceptual locations where driveways are permitted are shown in the Resort Planning Area Specialized Area Plan as Driveway Access Zones. The precise alignment, orientation and configuration of driveways is to be determined at plat stage following detailed engineering design.
	3.4	All other street, driveway and vehicle connectivity requirements shall have regard to Sections 13.3.4.
Internal Pedestrian & Bicycle Connectivity	4.1	<p>Pedestrian and/or bicycle connectivity within the Resort Planning Area shall occur through an interconnected network of trails and accessways that:</p> <ul style="list-style-type: none"> align with and capitalize on the precinct's riverine setting and natural features; and facilitate legible access within the precinct and easily identifiable paths of travel between development cells, resort amenities and natural features. <p>The precise alignment, orientation and configuration of pedestrian and/or bicycle accessways is to be determined at plat stage following detailed engineering design. The minimum requirements are:</p> <ul style="list-style-type: none"> a minimum of one pedestrian and/or bicycle route generally following the alignment of the Primary Access Drive and Ring Road; a minimum of one pedestrian and/or bicycle route generally along the Guadalupe River; a minimum of one pedestrian and/or bicycle route generally along the northern and western boundaries of the Resort Planning Area; a minimum of two pedestrian and/or bicycle routes generally along the stream; pedestrian and/or bicycle connectivity between the routes described above. <p>The pedestrian and/or bicycle routes described above are conceptually shown in the approved Specialized Area Plan. Additional routes may be designated. Routes may be one single pedestrian and/or bicycle accessway and/or made up of sections comprising of multiple accessways. Routes are not required to be linear and/or continuous in nature, and may jog provided the path of travel is clearly identifiable.</p>
	4.2	<p>Pedestrian and bicycle accessways may be:</p> <ul style="list-style-type: none"> public or private; and integrated within the right of way of a vehicle street.



		MINIMUM DEVELOPMENT STANDARD	ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Internal Pedestrian & Bicycle Connectivity (cont'd)	4.3	All other pedestrian connectivity requirements shall have regard to Sections 13.3.5 and 19.3.2.	
Parking Areas	5.1	Parking areas within the Resort Planning Area shall be provided in locations that are most practical based land use and activity nodes, natural features and spatial layout of buildings. Parking Opportunity locations are conceptually shown in the Resort Planning Area Specialized Area Plan. Additional parking areas may be designated.	Guiding Principle Objectives: 3.2 V, VI; 7.2 I, II. Planning Area Objectives: 9.4.1 I, IV. Code Purpose: 13.2 III.
	4.2	The design of parking areas and the required number of parking bays shall be in accordance with Section 32.	

14 Plat Design Code

14.1 Applicability

This Code applies in the assessment of all Plat applications and subsequent related applications within the project.

14.2 Purpose

The purpose of this Code is to:

- I. Ensure the Guiding Principles and Planning Area Objectives are met.
- II. Facilitate the logical and efficient use of land for residential, commercial and mixed use development.
- III. Encourage safe, convenient and attractive neighborhoods and centers, that meet the diverse and changing needs of the project, including:
 - a range of housing opportunities;
 - access to commercial and community facilities;
 - a street network that functions both as the principal movement network and an important aspect of the public realm;
 - encouraging complete streets to create an enjoyable experience for vehicular traffic, pedestrians and cyclists;
 - access to parks and recreation;
 - promoting a sense of place and Texas Hill Country character; and
 - ensuring adequate on-site and off-site (where necessary) stormwater management.

14.3 Development Standards

The applicable application shall comply with the minimum development standards of this Code unless superseded by approved alternative development standards. Where there is a conflict between this Code and other codes, such a conflict is to be resolved in accordance with Figure 2-2.



14.3.1 Community Layout

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Planning Areas	1.1	The designation of planning areas shall be consistent with an approved Sector Plan.	Guiding Principle Objectives: 3.2 I, II, III, IV, V, VIII. Code Purpose: 13.2 I, II, III.
Access	2.1	The location of neighborhood cell ingress/egress points shall be consistent with an approved Sector Plan.	Guiding Principle Objectives: 3.2 VI; 7.2 I. Code Purpose: 13.2 I, II, III.
Dwelling Density	3.1	Dwelling densities shall be consistent with an approved Sector Plan.	Guiding Principle Objectives: 3.2 III, IV; 5.2 IV; 7.2 III. Code Purpose: 13.2 I, II, III.
Parks	4.1	The location and design of parks shall be consistent with an approved Sector Plan.	Guiding Principle Objectives: 5.2 VI, VII. Code Purpose: 13.2 I, II, III.
Specialized Areas	5.1	In addition to Development Standards 1.1 to 4.1, the spatial layout within a Specialized Area shall conform to Section 13.4 and any approved Specialized Area Plan.	Guiding Principle Objectives: 3.2 I, II, III, IV, V, VIII. Code Purpose: 13.2 I, II, III.

14.3.2 Gated Neighborhoods

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Location	1.1	Where a gated neighborhood is identified on an approved Sector Plan, the design of streets in the gated neighborhood shall be consistent with the approved Sector Plan. Where a gated neighborhood is proposed, but not identified on an approved Sector Plan, a Special Use Permit shall be required for such subdivision and shall comply with Section 13.3.2 in addition to any other applicable development standards.	Guiding Principle Objectives: 3.2 III, IV; 5.2 IV. Code Purpose: 13.2 I, II, III.
Access	2.1	The location and number of ingress/egress points to a gated neighborhood shall be consistent with an approved Sector Plan.	Guiding Principle Objectives: 3.2 VI; 7.2 I. Code Purpose: 13.2 I, II, III.
Streets	3.1	The layout and design of streets within gated neighborhoods shall comply with Section 13.3.2.	Guiding Principle Objectives: 5.2 I. Code Purpose: 13.2 I, II, III.
	3.2	All streets within a gated neighborhood shall be private streets and comply with §118-46(x) of the Code of Ordinances.	
Major Accessways	4.1	Where a major accessway, as illustrated on Plan 7-1, traverses a gated neighborhood, unhindered public pedestrian and bicycle access shall be provided.	Guiding Principle Objectives: 3.2 II, VI; Code Purpose: 13.2 I, II, III.
	4.2	Unhindered public pedestrian and bicycle access shall be provided adjacent to all vehicular gates.	



14.3.3 Blocks

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Block Orientation	1.1	Block pattern shall be consistent with an approved Sector Plan.	Guiding Principle Objectives: 3.2 V; 4.2 IV, V; 5.2 III Code Purpose: 13.2 I, II, III.
Block Length	2.1	Block lengths shall be consistent with an approved Sector Plan.	Guiding Principle Objectives: 3.2 IV, VI; 5.2 III. Code Purpose: 13.2 I, II, III.

14.3.4 Lots

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Dimension	1.1	The area and dimension of lots shall be consistent with the minimum standards set forth in Table 14-1.	Guiding Principle Objectives: 3.2 III, IV, V, 5.2 IV. Code Purpose: 13.2 I, II, III.
	1.2	Flag lots are not permitted, except where they relate to a cohesive non-residential or mixed use development.	
	1.3	In general, lots shall be rectangular and not irregular in shape, with a depth dimension equal or greater than the width dimension. Exceptions to this requirement may be allowed for park lots, lots that are part of a cohesive non-residential or mixed use development, and lots located on a street curve.	
	1.4	Any lot which contains at least one high value trees identified to be retained on a Tree Protection Plan, either a building envelope shall be identified on a Final Plat or the following shall be added as a Plat Note: “No building shall be sited within the extent of a sensitive feature and associated buffer. For any lot which contains a high value tree, and a building envelope was not approved as part of a Final Plat, the location of a building envelope shall be approved by the Planning Director prior to a Building Permit being issued.”	
Access	2.1	Each lot shall share a common lot line with a dedicated, improved public street unless: <ul style="list-style-type: none">▪ platted as an approved gated neighborhood or private street subdivision in which case the lot shares a common lot line with a private street; and/or▪ the lot is accessible via either an alley and the lot fronts a park lot; and/or▪ the lot relates to a public utility, or a cohesive non-residential or mixed use development, and a dedicated cross-access easement is provided.	Guiding Principle Objectives: 3.2 III, IV, V, 5.2 IV. Code Purpose: 13.2 I, II, III.



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Common Areas	3.1	The following shall be added as a Plat Note: “Lots to be held in common property by a homeowners’ or property owners’ association shall be shown on the Plat as a separate lot.”	Guiding Principle Objectives: 3.2 III, IV, V, 5.2 IV. Code Purpose: 13.2 I, II, III.
Solar Orientation	4.1	The orientation of streets shall be consistent with an approved Sector Plan.	Guiding Principle Objectives: 3.2 III, IV, V; 4.2 IX; 5.2 IV. Code Purpose: 13.2 I, II, III.
Mixed Use, Multi-Family Dwelling and Single-family Attached Dwelling (Townhouse) Lots	5.1	Lots containing mixed use, multi-family dwelling and single-family attached dwelling (townhouse) development shall consume an entire block or shall be located on block ends, corner lots or lots with dual road frontage.	Guiding Principle Objectives: 3.2 III, IV, V, 5.2 IV. Code Purpose: 13.2 I, II, III.
Dwelling Diversity	6.1	Residential uses achieve a minimum diversity score of 0.5 or greater – refer Table 14-3. The diversity score shall not apply to the first 100 acres of the project subject to a plat application. The diversity score shall be calculated cumulatively as the project develops, inclusive of the first 100 acres.	Guiding Principle Objectives: 3.2 III, IV, V, 5.2 IV. Code Purpose: 13.2 I, II, III.
Parks	7.1	Parks shall comply with the Park Planning Code – refer to Section 26.	Guiding Principle Objectives: 5.2 VI, VII. Code Purpose: 13.2 I, II, III.



Table 14-1 Minimum Lot Area and Size

	MAXIMUM LOT SIZE	MINIMUM LOT SIZE	MINIMUM LOT WIDTH	MINIMUM LOT DEPTH	MINIMUM STREET FRONTAGE
Single-Family Detached Dwelling Lot	None	4,000 sq. ft.	Interior Lot: 35 ft. Corner Lot: 45 ft.	80 ft.	12 ft.
Single-Family Detached Dwelling (Cluster) Lot	None	Interior Lot: 2,450 sq. ft. Corner Lot: 3,150 sq. ft.	22.5 ft.	50 ft.	12 ft.
Single-Family Detached Dwelling (Cluster) Parent Lot	None	10,000 sq. ft.	Interior Lot: 45 ft. Corner Lot: 55 ft.	100 ft.	N/A
Single-Family Detached Dwelling (Zero Lot Line) Lot	None	Interior Lot: 2,450 sq. ft. Corner Lot: 3,150 sq. ft.	Interior Lot: 35 ft. Corner Lot: 45 ft.	70 ft.	12 ft.
Single-Family Attached Dwelling (Duplex) Lot	None	4,000 sq. ft.	Interior Lot: 35 ft. Corner Lot: 45 ft.	70 ft.	12 ft.
Single-Family Attached Dwelling (Townhouse) Lot	None	Interior Lot: 1,800 sq. ft. Corner Lot: 2,800 sq. ft.	Interior Lot: 22.5 ft. Corner Lot: 35 ft.	80 ft.	12 ft.
Multi-Family Dwelling Unit Lot	None	15,000 sq. ft.	Interior Lot: 60 ft. Corner Lot: 72 ft.	100 ft.	60 ft.
Non-Residential Use in a Neighborhood (Mixed Density) Residential or High Density Residential Planning Area Lot	None	None	60 ft.	100 ft.	60 ft.
Town Center Planning Area Lot	TBD ¹	TBD ¹	TBD ¹	TBD ¹	TBD ¹
Mixed Use Employment Planning Sub Area Lot	None	6,000 sq. ft.	Interior Lot: 60 ft. Corner Lot: 72 ft.	100 ft.	60 ft.
Large Format Retail Sub Planning Area Lot	None	6,000 sq. ft.	Interior Lot: 60 ft. Corner Lot: 72 ft.	100 ft.	60 ft.
Neighborhood Center Planning Area Lot	None	6,000 sq. ft.	Interior Lot: 60 ft. Corner Lot: 72 ft.	100 ft.	60 ft.
Resort Planning Area Lot	None	15,000 sq. ft.	Interior Lot: 60 ft. Corner Lot: 72 ft.	100 ft.	60 ft.
Regional Park Lot	As per Section 7.1 of the Development Agreement.	As per Section 7.1 of the Development Agreement.	As per Section 7.1 of the Development Agreement.	As per Section 7.1 of the Development Agreement.	In accordance with Section 26.3.2, Development Standard 1.2.



	MAXIMUM LOT SIZE	MINIMUM LOT SIZE	MINIMUM LOT WIDTH	MINIMUM LOT DEPTH	MINIMUM STREET FRONTAGE
Community Park (Sports Park, Active Use Park and Informal Use Park) Lot	None.	10 ac.	300 ft. with the ability to locate two full size multipurpose fields (225 x 360 ft.).	300 ft. with the ability to locate two full size multipurpose fields (225 x 360 ft.).	In accordance with Section 26.3.3.1, Development Standard 1.2.
Community Park (Urban Common Park) Lot	None.	2 ac.	100 ft.	None.	In accordance with Section 26.3.3.2, Development Standard 1.3.
Neighborhood Park Lot	10 ac.	1 ac.	100 ft.	None.	In accordance with Section 26.3.4, Development Standard 1.3.
Pocket Park Lot	1 ac.	10,890 sq. ft.	35 ft.	70 ft.	In accordance with Section 26.3.5, Development Standard 1.2.
Linear Open Space Park Lot	None.	None.	50 ft. ²	50 ft. ²	In accordance with Section 26.3.6, Development Standard 1.2.
Landscape Amenity Park Lot	None.	None.	None.	None.	None.

¹ TBD: Minimum lot area and size shall be stated in the Continued Outstanding Development Standards for Specialized Areas – refer to Section 1.4.

² Where a lot is wholly or partially identified as Linear Open Space Park and is also located within the Green Ribbon, the minimum lot width and depth development standards in Table 14-1 shall not be applicable so long as the depth of that part of the lot located within the Green Ribbon complies with Section 28.3.1 Development Standard 1.1.



Table 14-2 Typical Lot Orientation

P = Permitted

X = Prohibited.

	EXPRESS WAY	PRINCIPAL ARTERIAL	MINOR ARTERIAL	COLLECTOR	LOCAL
NEIGHBORHOOD (MIXED DENSITY) RESIDENTIAL PLANNING AREA, NEIGHBORHOOD CENTER PLANNING AREA, RESORT PLANNING AREA & PARK PLANNING AREA					
Front	X	P	P	P	P
Side	P	P	P	P	P
Rear	P	P	P	X	X
MIXED COMMERCIAL & BUSINESS PLANNING AREA & HIGH DENSITY RESIDENTIAL PLANNING AREA					
Front	P	P	P	P	P
Side	P	P	P	P	P
Rear	P	P	P	X	X
TOWN CENTER PLANNING AREA					
Front	P	P	P	P	P
Side	P	P	P	P	P
Rear	X	X	X	X	X



Table 14-3 Housing Diversity Score Methodology

$D = 1 - \sum(n/N)^2$ where:

- D = diversity score
- Σ = the sum of
- n = the total number of dwellings in a single category
- N = the total number of dwellings in all categories

Categories

- Single-family detached dwelling lot, large (70 ft. or greater front footage)
- Single-family detached dwelling lot, medium (55 ft.- 69 ft. front footage)
- Single-family detached dwelling lot, small (less than 55 ft. front footage)
- Single-family detached dwelling lot, cluster
- Single-family detached dwelling lot (e.g. duplex, townhouse)
- Dwelling unit in multi-family building, large (850 sq. ft. or greater)
- Dwelling unit in multi-family building small (less than 850 sq. ft.)
- Accessory dwelling unit, large (600 sq. ft. or greater)
- Accessory dwelling unit, small (less than 600 sq. ft.)

Calculation Assumptions

Dwelling Units in a Multi-Family Dwelling Building

For the purpose of the diversity calculation at Plat:

- the number of dwelling units for a proposed multi-family dwelling lot shall equal the area of the lot multiplied by the proposed dwelling unit density as noted on the approved Sector Plan (e.g. a 10 acre lot with an approved density of 16 units/acre equals a yield of 160 units).
- the assumed percentage of large dwelling units and small dwelling units shall be stated at the time of submittal.

Accessory Dwelling Units

For the purpose of the diversity calculation at Plat:

- the assumed percentage of large dwelling units and small dwelling units shall be stated at the time of submittal.

Example:

A Plat includes the following lot mix:

- 15 ft. x 70 ft. frontage residential units (with accessory dwelling units)
- 25 ft. x 60 ft. frontage residential units
- 10 acre multi-family dwelling site with dwelling unit density of 16 dwellings per acre, being a maximum of 160 units

The Plat achieves a diversity score of 0.70 as demonstrated below:

CATEGORIES	TOTAL (N)	(N/N) ²
Single-family detached dwelling lot, large	15	0.0048675
Single-family detached dwelling lot, medium	25	0.01352082
Single-family detached dwelling lot, small	0	0
Single-family detached dwelling lot, cluster	0	0
Single-family detached dwelling lot, duplex/townhouse	0	0
Dwelling units in multi-family building, large	80	0.13845322
Dwelling units in multi-family building, small	80	0.13845322
Accessory dwelling unit, large	7.5	0.00121687
Accessory dwelling unit, small	7.5	0.00121687
Total (N)	215	
Total ($\sum(n/N)^2$)	1 -	0.2977285
Diversity (D)		0.7022715



14.3.5 Streets

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Traffic Impact Assessment	1.1	A TIA Update or TIA Worksheet shall be submitted in accordance with Appendix 1, Section 1.16.	Guiding Principle Objectives: 3.2 VI, VII; 7.2 I. Code Purpose: 13.2 I, II, III.
Street Layout	2.1	The alignment of streets shall be consistent with an approved Sector Plan.	Guiding Principle Objectives: 3.2 VI, VII; 7.2 I. Code Purpose: 13.2 I, II, III.
Relation to Abutting Street System	3.1	Connectivity to existing streets in adjoining subdivisions shall be consistent with an approved Sector Plan.	Guiding Principle Objectives: 3.2 VI, VII; 7.2 I. Code Purpose: 13.2 I, II, III.
Projection of Streets	4.1	The projection of streets into abutting unplatted tracts shall be consistent with an approved Sector Plan.	Guiding Principle Objectives: 3.2 VI, VII; 7.2 I. Code Purpose: 13.2 I, II, III.
Street Names	5.1	Street names shall be consistent with an approved Sector Plan.	Guiding Principle Objectives: 3.2 VI, VII; 7.2 I. Code Purpose: 13.2 I, II, III.
	5.2	The logical, grammatical order of address elements should be street number, pre-directional, primary street name, suffix, post-directional, and secondary number if any (i.e. 100 W. Main St. SE #201).	
Street Jogs	6.1	Street jogs shall be consistent with an approved Sector Plan.	Guiding Principle Objectives: 3.2 VI, VII; 7.2 I. Code Purpose: 13.2 I, II, III.
Street Intersections	7.1	Street intersections shall be consistent with an approved Sector Plan.	Guiding Principle Objectives: 3.2 VI, VII; 7.2 I. Code Purpose: 13.2 I, II, III.
Dead-end Streets	8.1	Dead-ends Streets shall be consistent with an approved Sector Plan.	Guiding Principle Objectives: 3.2 VI, VII; 7.2 I. Code Purpose: 13.2 I, II, III.
Culs-de-sac	9.1	Culs-de-sac shall be consistent with an approved Sector Plan.	Guiding Principle Objectives: 3.2 VI, VII; 7.2 I. Code Purpose: 13.2 I, II, III.
Landscaped Islands and Traffic Calming	10.1	Landscaped islands and traffic calming devices may be utilized on minor roads. Landscape islands and traffic calming devices are designed in accordance with §118-46(l) of the Code of Ordinances.	Guiding Principle Objectives: 3.2 VI, VII; 7.2 I. Code Purpose: 13.2 I, II, III.



MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Landscaped Islands and Traffic Calming (cont'd)	10.2	<p>Traffic calming features shall not include vegetative barriers or other obstructions to visibility within 6 ft. of the curb face.</p> <p>Any existing vegetation or landscaping within a traffic-calming feature shall be devoid of branches up to 13 ft. 6 in. from the base of the trunk. This clearance may be reduced where removal of branches would, in the opinion of a certified arborist, compromise the survival of the existing tree or vegetation, provided that it is demonstrated that the retention of such branches will not be detrimental to the safety, visibility or passage of vehicles, cyclists or pedestrians.</p> <p>Sight distance triangles shall be preserved at all streets, alleys and drives – refer to AASHTO A Policy on Geometric Design of Highways and Streets Section 9.5 Intersection Sight Distance.</p>
	11.1	<p>Vehicular access for residential lots abutting an arterial and collector road shall be consistent with an approved Sector Plan.</p> <p>Guiding Principle Objectives: 3.2 VI, VII; 7.2 I. Code Purpose: 13.2 I, II, III.</p>
Limited Access	11.2	<p>Inter-block access shall be consistent with an approved Sector Plan.</p>
	12.1	<p>There shall be no reserve strips controlling access to land dedicated or intended to be dedicated to public use.</p> <p>Guiding Principle Objectives: 3.2 VI, VII; 7.2 I. Code Purpose: 13.2 I, II, III.</p>
Reserve Strips	13.1	<p>ROW widths shall comply with Table 13-2 and Figure 13-5.</p> <p>Guiding Principle Objectives: 3.2 VI, VII; 7.2 I. Code Purpose: 13.2 I, II, III.</p>
Pavement and ROW Widths	14.1	<p>The dedication of easements in addition to dedicated ROW may be required whenever, due to topography, additional width is necessary to provide adequate earth slopes in the same reasonable manner as determined by the City Engineer in similarly situated areas of the City.</p> <p>Guiding Principle Objectives: 3.2 VI, VII; 7.2 I. Code Purpose: 13.2 I, II, III.</p>
Slope Easements	15.1	<p>Internal intersection improvements shall be installed as required by the Project Transportation Plan or a subsequent approved TIA Update prepared in accordance with Appendix 1, Section 1.16.3.</p> <p>Guiding Principle Objectives: 3.2 VI, VII; 7.2 I. Code Purpose: 13.2 I, II, III.</p>
	15.2	<p>External intersection improvements and traffic control devices shall be installed as required by a TIA Worksheet, prepared in accordance with Appendix 1, Section 1.16.2.</p>
Intersection Improvements and Traffic Control Devices	16.1	<p>Street signs shall be installed on all public and private streets.</p> <p>Note:</p> <p>The installation of street signs shall not be at the expense of the City.</p> <p>The Master Developer or Applicant may, at their election, install street signs that are above the minimum standards required by the City. An application shall not be denied or refused based on either the Master Developer or Applicant's decision not to install street signs above the minimum standard.</p> <p>Guiding Principle Objectives: 3.2 VI, VII; 7.2 I. Code Purpose: 13.2 I, II, III.</p>
Street Signs		



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Streetlights	17.1	Streetlights shall be installed at all intersections, at the end of a cul-de-sac and throughout a subdivision as required by NBU in accordance with the standards published by NBU under §118-18 of the Code of Ordinances. Note: The installation of streetlights shall not be at the expense of the City. The Master Developer or an Applicant may, at their election, install streetlights that are above the minimum standards required by NBU. An application shall not be denied or rejected based on either the Master Developer or Applicant's decision not to install streetlights above the minimum standard.	Guiding Principle Objectives: 3.2 VI, VII; 7.2 I. Code Purpose: 13.2 I, II, III.
	17.2	Streetlights shall comply with the Section 31.3.7.	
Passenger Drop-Off Areas	18.1	Where required or provided, passenger drop off-areas shall satisfy the following requirements: <ul style="list-style-type: none">▪ Shall be separated from the abutting street and/or parking traffic with a landscaped median;▪ Shall accommodate two vehicle lanes with one-way traffic flow, and▪ Shall provide for ADA access no further than 20 ft. from the centerline of the zone allocated for unloading.	Guiding Principle Objectives: 3.2 IV, VI; 7.2 I. Code Purpose: 32.2 I, II, III.

14.3.6 Private Streets

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Design	1.1	All private streets shall comply with Section 14.3.5 unless otherwise set forth on an approved Sector Plan.	Guiding Principle Objectives: 3.2 VI, VII; 7.2 I. Code Purpose: 13.2 I, II, III.

14.3.7 Alleys and Service Drives

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
General	1.1	Any lot may be accessed by an alley or service drive. Alleys shall be identified as public or private on the Plat. If designated as a private alley, the following shall be added as a Plat Note: "All private alleys shall be maintained the HOA or POA".	Guiding Principle Objectives: 3.2 VI, VII; 7.2 I. Code Purpose: 13.2 I, II, III.
	1.2	Alley pavement and ROW widths shall comply with Section 14.3.5, Development Standard 13.1. For the purpose of this Development Standard, service drives shall comply with the pavement and ROW widths required for an alley.	
	1.3	Alleys and service drives shall not exceed 750 ft. in length without providing access at the midsection of the alley to a public street.	
	1.4	Where two alleys or utility easements intersect or turn at a right angle, a cut off or corner clip of not less than 10 ft. from the normal intersection of the lot line or easement boundary line shall be provided along each lot line or easement boundary line.	

14.3.8 Accessways

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
General	1.1	Accessways shall be consistent with an approved Sector Plan.	Guiding Principle Objectives: 3.2 II, VI. Code Purpose: 13.2 I, II, III.
	1.2	Where additional accessways are required at the plat stage, such accessways shall comply with Section 13.3.5.	

14.3.9 Utility Easements

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Location & Design	1.1	The location and design specification of utility easements shall be consistent with an approved Sector Plan.	Guiding Principle Objectives: 8.2 I, II. Code Purpose: 13.2 I, II, III.
	1.2	Where additional easements are required at the plat stage, such easements shall comply with Development Standard 1.1 above.	

14.3.10 Water, Wastewater and Drainage Facilities

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Location & Design	1.1	The location and design specifications of water, wastewater and drainage facilities shall comply with an approved Sector Plan.	Guiding Principle Objectives: 4.2 VI, VII, VIII; 8.2 I, II, III, IV, V. Code Purpose: 13.2 I, II, III.
	1.2	Where additional water, wastewater or drainage facilities are required at the plat stage, such facilities shall comply with Section 13.3.7.	
	1.3	Low impact development or water quality measures shall comply with TCEQ and Edwards Aquifer Authority requirements and the <i>Drainage and Erosion Control Design Manual</i> .	

14.3.11 Cluster-style Mailboxes

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Location	1.1	The approval of the USPS Post Master shall be required for the location of all cluster-style mailboxes.	Guiding Principle Objectives: 8.2 I. Code Purpose: 13.2 I, II, III.
	1.2	Cluster-style mailboxes shall be situated within either ROW between the sidewalk and the curb, or a HOA maintained lot abutting a street.	
	1.3	Cluster-style mailboxes shall not be located within 5 ft. of a driveway cut or within a sight distance triangle – refer to Section 31.3.1 Development Standard 7.1.	
	1.4	Clustered mailbox units shall not be installed on a cul-de-sac.	
	1.5	Where on-street parking is permitted, a ‘loading zone’ sign shall be placed adjacent to all cluster-style mailboxes.	
Access	2.1	Cluster-style mailboxes shall have a 4 ft. path providing pedestrian access from the curb to the sidewalk.	Guiding Principle Objectives: 3.2 VI; 8.2 I. Code Purpose: 13.2 I, II, III.
Clear Zone	3.1	A 3 ft. clear zone shall be provided around the perimeter of all cluster-style mailbox units. Where multiple cluster-style mailbox units are located together, the clear zone shall apply to the collective grouping of mailbox units	Guiding Principle Objectives: 3.2 IV; 8.2 I. Code Purpose: 13.2 I, II, III.



PART F

PLANNING AREA CODES



15 Town Center Planning Area Code

15.1 Applicability

This Code applies in the assessment of all applications within the Town Center Planning Area.

15.2 Purpose

The purpose of this Code is to:

- I. Ensure the Guiding Principles and Planning Area Objectives are met.
- II. Ensure development within the Town Center Planning Area is compatible in scale, intensity and appearance within the purpose of the center.
- III. Ensure development is of human scale and encourages attractive and active Street frontages.
- IV. Create an inviting public realm.
- V. Provide for efficient pedestrian and cycle connectivity.
- VI. Ensure the orientation of buildings to streets and parks.

15.3 Development Standards

The development standards for specialized areas are to be approved by the City Council prior to the end third approval period or at the point of the first Sector Plan that includes all or part of the Town Center Planning Area. Where there is a conflict between this Code and other codes, such a conflict is to be resolved in accordance with Figure 2-2.



16 Large Format Retail Planning Sub Area Code

16.1 Applicability

This Code applies in the assessment of all applications within the Large Format Retail Planning Sub Area.

16.2 Purpose

The purpose of this Code is to:

- I. Ensure the Guiding Principles and Planning Area Objectives are met.
- II. Ensure development is compatible in scale, intensity and appearance with the purpose of the center.
- III. Ensure development is of human scale and encourage attractive and active Street frontages.
- IV. Facilitate an inviting public realm.
- V. Provide for efficient pedestrian and cycle connectivity.
- VI. Ensure the orientation of buildings to streets and public parks.

16.3 Development Standards

All relevant applications shall comply with the minimum development standards of this Code unless superseded by approved alternative development standards. Where there is a conflict between this Code and other codes, such a conflict is to be resolved in accordance with Figure 2-2.



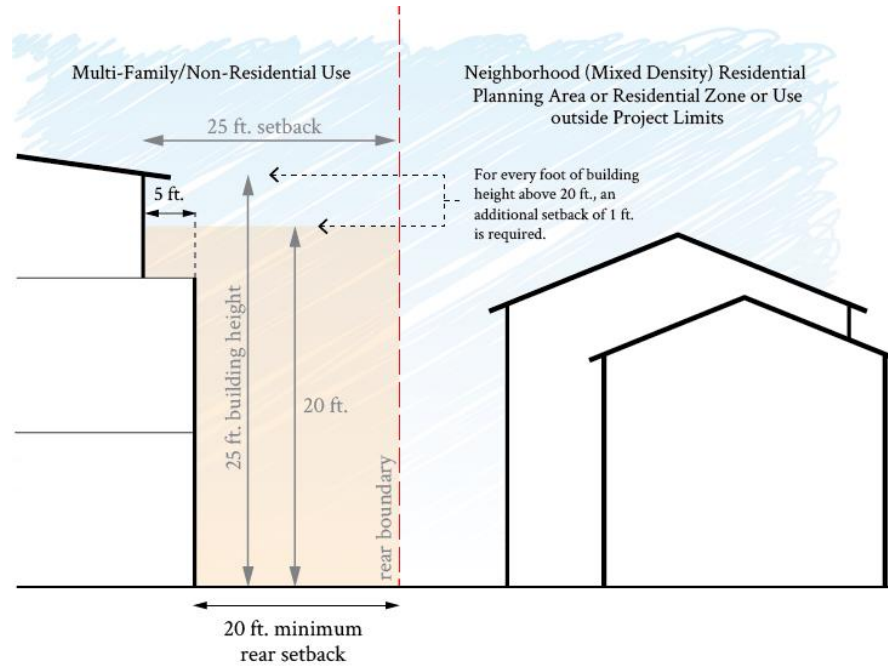
16.3.1 Site Planning

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Maximum Building Height	1.1	85 ft, except in the following locations: <ul style="list-style-type: none">75 ft for buildings abutting a civic space; and100 ft for buildings within Precinct 8.	Guiding Principle Objectives: 3.2 IV, V; 5.2 III. Planning Area Objectives: 9.2.1 III, XII, XIII. Code Purpose: 16.2 I, II, III, IV.
Street Setback	2.1	Minimum 15 ft; except as follows: <ul style="list-style-type: none"><i>Promenade</i>: Minimum 0 ft.; Maximum 15 ft. for 50 percent of the building façade;<i>Civic Space</i>: Minimum 0 ft.; Maximum 15 ft. for 50 percent of the building façade; and<i>Loop 337 Green Ribbon</i>: Minimum 0 ft.	Guiding Principle Objectives: 3.2 IV, V; 5.2 III. Planning Area Objectives: 9.2.1 III, XII. Code Purpose: 16.2 I, II, III, IV, VI.
Side & Rear Setback	3.1	Minimum 0 ft.; or a minimum 6 ft. where the side or rear façade contains a doorway.	Guiding Principle Objectives: 3.2 IV, V; 5.2 III. Planning Area Objectives: 9.2.1 III. Code Purpose: 16.2 I, II, III.
Minimum Setback from Adjoining Residential Uses	4.1	<p><i>Multi-Family Dwelling, Mixed Use & Non-Residential Developments only:</i></p> <p>Where adjoining the Neighborhood (Mixed Density) Residential Planning Area or a residential zone or use outside the project limits, side setbacks are a minimum of 20 ft.</p> <p>Any portion of a building that exceeds 20 ft. in height shall be setback an additional 1 ft. for every foot of the building over 20 ft. – refer to Figure 16-1.</p> <p>Notes:</p> <p>The minimum residential setback only applies to that lot line that directly adjoins a Neighborhood (Mixed Density) Residential Planning Area, or residential zone or use outside the project limits.</p> <p>Where a non-residential use or multi-family use abuts another multi-family use, this standard is not applicable</p>	Guiding Principle Objectives: 3.2 IV, V; 5.2 III. Planning Area Objectives: 9.2.1 III. Code Purpose: 16.2 I, II, III.
Distance between Buildings	5.1	Buildings sited on a single lot shall be setback a minimum of: <ul style="list-style-type: none">20 ft. between buildings sited front to rear;40 ft. between buildings sited front to front <p>Note: Refer to Figure 25-1 for illustration of applicable building formations.</p>	Guiding Principle Objectives: 3.2 IV, V; 5.2 III. Planning Area Objectives: 9.2.1 III. Code Purpose: 16.2 I, II, III.



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Setback Encroachments	6.1	<p>The following building elements may encroach setback lines:</p> <ul style="list-style-type: none">▪ Awnings, canopies and weather protection features associated with ground floor non-residential uses: a maximum of 10 ft. and a minimum clearance of 8 ft.;▪ Eaves and gutters: a maximum of 18 in. and a minimum clearance of 8 ft.;▪ Accessory environmental design elements and low-impact development features, including (but not limited to) rainwater systems, solar collectors, bicycle storage, and the like: maximum encroachment at the discretion of the Planning Director; and▪ Any other accessory external building fixture deemed appropriate by the Planning Director: maximum encroachment at the discretion of the Planning Director.	<p>Guiding Principle Objectives: 3.2 IV, V; 5.2 III.</p> <p>Planning Area Objectives: 9.2.1 III.</p> <p>Code Purpose: 16.2 I, II, III, IV, VI.</p>
Buildings at Street Corners	7.1	<p>At all promenade and public street intersections, buildings are required to be developed on a minimum of two corners, subject to the allowable setbacks in Development Standard 2.1 above.</p>	<p>Guiding Principle Objectives: 3.2 IV, V; 5.2 III.</p> <p>Planning Area Objectives: 9.2.1 III, XII, XIII.</p> <p>Code Purpose: 16.2 I, II, III, IV, VI.</p>
Building Orientation	8.1	<p>Each building shall have a pedestrian entrance to the highest-order adjoining roadway. Entrances at building corners may be used to satisfy this requirement.</p> <p>Where a building also fronts an additional street, internal pedestrian accessway, park or civic space with a pedestrian frontage, a second entrance shall address and open directly onto the street, accessway, park or civic space.</p> <p>Building entrances shall be designed in accordance with Section 16.3.3 Development Standards 8.1-8.5.</p> <p>Note:</p> <p>Building entrances may include doors to individual shops or businesses, lobby entrances, entrances to civic spaces (e.g. squares, Plazas), or courtyard entrances to a cluster of shops or businesses.</p>	<p>Guiding Principle Objectives: 3.2 IV, V; 5.2 III; 7.2 I.</p> <p>Planning Area Objectives: 9.2.1 III, XII, XIII.</p> <p>Code Purpose: 16.2 I, II, III, IV, VI.</p>
Mixed Use Developments with Residential Uses	9.1	<p>In a mixed use development with residential use(s), the gross floor area of the residential component shall be a minimum of 30 percent of the total gross floor area.</p> <p>Note:</p> <p>This requirement only applies to individual developments. It does not apply to the Large Format Retail Planning Sub Area as a whole.</p>	<p>Guiding Principle Objectives: 3.2 II, IV, V; 5.2 III.</p> <p>Planning Area Objectives: 9.2.1 III, X.</p> <p>Code Purpose: 16.2 I, II, III, VI.</p>
	9.2	<p>The residential use(s) shall have secure access that is physically and visually separate from publicly accessible non-residential areas.</p>	

Figure 16-1 Large Format Retail Planning Sub Area Residential Side and Rear Setbacks



16.3.2 Place, Connectivity & Movement

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Promenade	1.1	The promenade is a planned linear location to link the various precincts within the development with preference to pedestrian and bicycle movement, landscape and people. The promenade may be a paseo or may have vehicle traffic, however is required to prioritize pedestrians and bicycles.	Guiding Principle Objectives: 3.2 II, IV, V, VI, VII; 5.2 II, III; 7.2 I, II, III. Planning Area Objectives: 9.2.1 II, III, VI, X, XI, XII, XIII. Code Purpose: 16.2 I, II, III, IV, V, VI.
	1.2	Linear landscaping shall be provided for the full extent of the promenade, subject to the following requirements: <ul style="list-style-type: none"> Minimum width of 4 ft.; and Be designed to accommodate placemaking amenities such as (but not limited to) seating; shading; temporary/pop-up concessions (such as mobile food vending and retail kiosks); street performances; and water features. 	



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Pedestrian & Bicycle Movement	2.1	<p>In addition to the requirements of Section 13.4.2 Development Standards 5.1-5.3, internal pedestrian routes with a minimum width of 6 ft. shall be provided that connect principal customer entrances to:</p> <ul style="list-style-type: none"> any other buildings on the same lot; or where part of a cohesive development, to buildings within the development; a public sidewalk; any adjoining parking areas; any adjoining civic space, public common area and/or public park; and any adjoining public transit stops. 	<p>Guiding Principle Objectives: 3.2 II, VI; 4.2 III; 5.2 III; 7.2 I, II, III. Planning Area Objectives: 9.2.1 III, VI, VIII, XII. Code Purpose: 16.2 I, IV, V.</p>
	2.2	Where provided, internal bike paths shall be a minimum of 8 ft. Internal multi-use paths shall be a minimum width of 10 ft. Such paths shall connect with any network of bike paths and multi-use paths within the precinct and/or adjoining lots.	
	2.3	All internal accessways shall be visually distinguished from vehicular driving surfaces through the use of curbs and/or durable, low maintenance surface materials, including but not limited to, pavers, bricks, or scored or colored concrete.	
	2.4	All internal accessways shall be landscaped on one side, to a minimum depth of 4 ft. except where crossed with streets or other accessways.	
	2.5	Any internal accessway that provides access and connection to uses that are open after dark shall have lighting that complies with the requirements of Section 31.3.6.	
Vehicles & Parking	3.1	All parking and vehicle management requirements shall be in accordance with Section 32 .	<p>Guiding Principle Objectives: 3.2 IV, VI, VII; 7.2 I, II, III. Planning Area Objectives: 9.2.1 III, IV, V, XI, XII, XIII, XIV. Code Purpose: 16.2 I, II, III, IV, V.</p>
Civic Spaces	4.1	Civic Spaces shall be located per Section 13.4.2 Development Standard 3.1 and 3.2.	<p>Guiding Principle Objectives: 3.2 VI; 5.2 II, III, VI; 6.2 I, II, IV; 7.2 I, II. Planning Area Objectives: 9.2.1 X, XI, XII, XIII. Code Purpose: 13.2 III; 16.2 I, II, III, IV, V, VI.</p>
	4.2	Civic spaces in the Large Format Retail Planning Sub Area shall be no less than 8,000 sq. ft. and designed to accommodate for the formal and informal gathering of a minimum of 100 people.	



MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Civic Spaces (cont'd)	4.3	<p>The minimum programming for all civic spaces in the Large Format Retail Planning Sub Area is as follows:</p> <ul style="list-style-type: none">▪ Mandatory improvements and amenities shall be: bike rack (min. 5 x 2-bike racks per 8,000 sq. ft of civic space); drinking fountain and tap including pet drinking facility; electrical outlet; landscaping (softscape and hardscape); lighting (general and security); pedestrian protection measures along vehicle streets; seating (3 individual benches); signage (directional and identification); and trash receptacle including pet waste receptacle.▪ Optional improvements and amenities that may be provided based on the location, size and function of the civic space include (but are not limited to): concession; event space; game table; pavilion/shade structure; picnic table (3 tables and no grill); public art; tables & chairs serving restaurant businesses adjacent to the civic space; playscape; pond; restroom; and water feature. <p>Additional improvements and amenities not listed above may be provided.</p>

16.3.3 Detailed Building Design

MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Façade Articulation	1.1	<p>A façade shall not extend horizontally for a distance greater than three times the average height or 100 ft., whichever is less, without incorporating a wall plane projection or recess with a minimum depth of 3 ft. and extending at least 20 percent of the length of the façade – refer to Figure 16-2.</p> <p>Notes:</p> <p>Offsets may be of varying depth provided the minimum standard is satisfied.</p> <p>The purpose of this standard, the length of the façade shall be considered the total distance of the building line.</p> <p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III. Planning Area Objectives: 9.2.1 III, X. Code Purpose: 16.2 I, II, III, IV, VI.</p>



MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Façade Articulation (cont'd)	1.2	<p>A façade shall not maintain the same vertical height for a distance greater than three times the average height or 100 ft., whichever is less, without incorporating a change in elevation.</p> <p>An elevation change shall be a minimum of 15 percent of the average height of the building and the elevation change shall continue to extend laterally for a distance equal to 10 to 70 percent of the entire façade that does not exceed the original distance limitation – refer to Figure 16-3.</p> <p>Notes:</p> <p>Elevation changes may be of varying heights provided the minimum standard is satisfied.</p> <p>Vertical articulation should accompany entrances, key focal points or other unique attributes of the façade.</p> <p>For the purpose of this standard, the length of the façade shall be considered the total distance of the building façade.</p>
	1.3	<p>For ground level retail establishments, the following glazing requirements apply to the entrance façade:</p> <ul style="list-style-type: none"> ▪ Frontages 200 ft. or less: a minimum 60 percent glass façade (with less than 20 percent reflectance). ▪ Frontages greater than 200 ft.: a minimum 40 percent glass façade (with less than 20 percent reflectance). ▪ Glass façade minimum height: 10 ft. above pavement level. The height of the glass façade shall be consistent within a cohesive development, to the extent feasible based on ground level variations.
Building Elements	2.1	<p>Building façades must include a repeating pattern that includes a minimum of three of the following elements:</p> <ul style="list-style-type: none"> a. color change; b. texture change; c. material module change; and/or d. an expression of architectural or structural bays through a change in plane no less than 12 in. width, such as an offset, reveal or projecting rib – refer to Figure 16-4. <p>At least one of elements a, b or c shall repeat horizontally. All elements shall repeat at intervals of no more than 30 ft., either horizontally or vertically – refer to Figure 16-5.</p> <p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III. Planning Area Objectives: 9.2.1 III, X. Code Purpose: 16.2 I, II, III, IV, VI.</p>



		MINIMUM DEVELOPMENT STANDARD	ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Exterior Building Materials	3.1	<p>At least 80 percent of the vertical walls of all buildings (excluding doors and windows) to which these standards apply, shall be finished in a minimum of two primary building materials from the following list:</p> <ul style="list-style-type: none"> ▪ Masonry brick, stone, cast stone, rock, marble, granite, tile; ▪ Stucco or plaster; ▪ Glass with less than 20 percent reflectance (however, no more than 50 percent of the entire building façade shall be glass); ▪ Split face concrete block, poured-in-place concrete and tilt wall concrete. Any use of concrete products shall have an integrated color and be textured or patterned. Tilt-up wall concrete structures shall include reveals, punch outs or other similar surface characteristics to enhance the façade on a least 10 percent of each façade; and/or ▪ Metal panels, metal shingles, and metal rain screen systems. <p>Each individual primary building material shall occupy a minimum of 20 percent of the façade.</p> <p>Accent materials are recommended and may occupy a maximum of 20 percent of the façade. Accent materials may include:</p> <ul style="list-style-type: none"> ▪ Wood or engineered wood type material rated for exterior building construction; ▪ Exterior insulation and finish system (EIFS) or equivalent product; ▪ Reclaimed, distressed or other antiqued material that meets commercial building standards for durability; and/or ▪ Any or all of the primary building materials listed above. 	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III.</p> <p>Planning Area Objectives: 9.2.1 III, X.</p> <p>Code Purpose: 16.2 I, II, III, IV, VI.</p>
	3.2	<p>Where a multi-level parking structure is provided, the structure shall incorporate the same colors, textures, architectural expressions and exterior building materials as at least one of the adjacent buildings.</p>	
Complementary Façade	4.1	<p>For individual buildings, side and rear façades are required to:</p> <ul style="list-style-type: none"> ▪ Meet Section 16.3.3 Development Standards 1.1-1.3 above, unless such facades are not visible from streets, accessways, parks, civic spaces, or other residential buildings; and ▪ Be designed with architectural style and building materials that are complementary to its front façade. <p>Note:</p> <p>“Complementary” will be determined using reasonable and customary design standards.</p>	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III.</p> <p>Planning Area Objectives: 9.2.1 III, X.</p> <p>Code Purpose: 16.2 I, II, III, IV, VI.</p>



		MINIMUM DEVELOPMENT STANDARD	ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Complementary Façade (cont'd)	4.2	<p>For buildings in a cohesive development, a thematic approach shall be adopted that:</p> <ul style="list-style-type: none">Ensures the architectural style and building materials used on the front façade, other facades and side walls shall be complementary to those of the other buildings in the development;Incorporates vernacular material techniques across the development;Applies development wide strategies to the building form, shading, and landscaping. <p>Note: “Complementary” will be determined using reasonable and customary design standards.</p>	
Solar Protection	5.1	<p>The incorporation of architectural wall shading to reduce solar heat gain is encouraged, but not required, for large building façades.</p> <p>Where provided on buildings within a cohesive development, the architectural wall shading shall be consistent in design and presentation across all buildings within that cohesive development.</p> <p>Note: An application shall not be denied or rejected based on failure to meet this minimum development standard.</p>	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III.</p> <p>Planning Area Objectives: 9.2.1 III, VII, VIII, X.</p> <p>Code Purpose: 16.2 I, II, III, IV, VI.</p>
Roof Treatments	6.1	<p>All service structures, elevator/lift motor rooms, satellite dishes and mechanical plants such as HVAC units shall be screened so as not to be visible from street view, accessways, parks or other civic spaces.</p>	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III.</p> <p>Planning Area Objectives: 9.2.1 III, X.</p>



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Roof Treatments (cont'd)	6.2	<p>Roofs shall have parapets or similar screening to conceal flat roofs, service structures, lift motor rooms, satellite dishes and mechanical plant such as HVAC units so as not to be visible from street view. The minimum height of such parapets or screens shall not be less than 4 ft. in height and such parapets shall not at any point exceed one-third of the height of the supporting wall, unless proven to not be visible from the adjacent street view. Parapets shall be consistent on all building facades and in keeping with the theme of buildings within a cohesive development.</p> <p>Optional design elements include:</p> <ul style="list-style-type: none">▪ Simple vertical design with coping detail;▪ Vernacular three-dimensional cornice treatment;▪ Overhanging eaves, extending no less than 3 ft. past the supporting walls; or▪ Sloping roofs that do not exceed the average height of the supporting walls, with an average slope greater than or equal to 1 ft. of vertical rise for every 3 ft. of horizontal run and less than or equal to 1 ft. of vertical rise for every 1 ft. of horizontal run.	Code Purpose: 16.2 I, II, III, IV, VI.
	6.3	Metal roofing, tile, and composite roofing are permitted.	
Weather Protection Features	6.4	<p>The following types of roofs shall be prohibited:</p> <ul style="list-style-type: none">▪ Mansard roofs and canopies without a minimum vertical distance of 8 ft. and at an angle not less than 25 degrees and not greater than 70 degrees;▪ Backlit awnings used as a mansard or canopy roof;▪ Sloped roofs with asphalt shingle roofing.	Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III. Planning Area Objectives: 9.2.1 III, VII, VIII, X. Code Purpose: 16.2 I, II, III, IV, VI.
	7.1	<p>A weather protection feature(s), such as an arcade, awning, canopy, pergola or other shade device, shall be provided above each entrance to a building, and along any building façade that is directly adjacent to an accessway and/or civic space. The weather protection feature(s) shall have the following specifications:</p> <ul style="list-style-type: none">▪ Minimum width: Equal to the width of the building entrance or building façade to which it relates, with an additional 18 in. on each side;▪ Minimum depth: 6 ft outwards from the façade of building;▪ Minimum clear height: 9 ft. above the pavement. <p>Weather protection features are encouraged as a means of accentuating key building elements, such as windows.</p>	



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Weather Protection Features (cont'd)	7.2	<p>For weather protection features that extend for the full extent of a building façade, the weather protection feature may be broken into sections, provided:</p> <ul style="list-style-type: none"> The gap between sections is 15 ft. or less; and The aggregate uncovered area (including landscaping) shall not exceed 25 percent of the building façade. 	
Entryways	8.1	<p>Building entrances may include doors to individual shops or businesses, lobby entrances, entrances to civic spaces (e.g. squares, Plazas), public common areas, or courtyard entrances to a cluster of shops or businesses.</p>	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III. Planning Area Objectives: 9.2.1 III, X. Code Purpose: 16.2 I, II, III, IV, VI.</p>
	8.2	Any front entry shall be set back from the drive aisle a minimum distance of 15 ft.	
	8.3	Landscaping shall be provided that complies with the requirements of Section 31.3.2.	
	8.4	The principle entrance to a building shall be illuminated and comply with the requirements of Section 31.3.6.	
	8.5	<p>Each building (single tenant or multi-tenant) greater than 60,000 sq. ft., shall have an architecturally prominent entrance(s) that is designed to accommodate a shared outdoor space with a minimum area of 200 sq. ft., that includes:</p> <ul style="list-style-type: none"> Benches and other seating components; Integral planters or wing walls that incorporate landscaped areas and/or places for sitting; Structural or vegetated shading; and Accessways between parking areas and buildings <p>Note: “Prominent” will be determined using reasonable and customary design standards.</p>	
Parking Structures	9.1	<p>Where a multi-story parking structure is provided, the structure shall not abut the principal street frontage, unless non-parking uses are integrated into the ground level of the structure. Where there are two or more street frontages, the parking structure may be exposed to the lowest order street however it shall provide:</p> <ul style="list-style-type: none"> Landscaping with a minimum 2 ft. depth against the parking structure wall for the entire facade at street level; or A vegetated wall for a minimum of 50 percent of the vertical height of the parking structure; or A mural that integrates 50% of the façade area. 	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III. Planning Area Objectives: 9.2.1 III, X. Code Purpose: 16.2 I, II, III, IV, VI.</p>

MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Parking Structures (cont'd)	9.2	No more than 20 percent of the street frontage shall be used for ingress/egress to the parking structure. The parking structure entrance shall be offset a minimum of 15 ft. from the street to allow for a landscape buffer.

Figure 16-2 Horizontal Façade Articulation

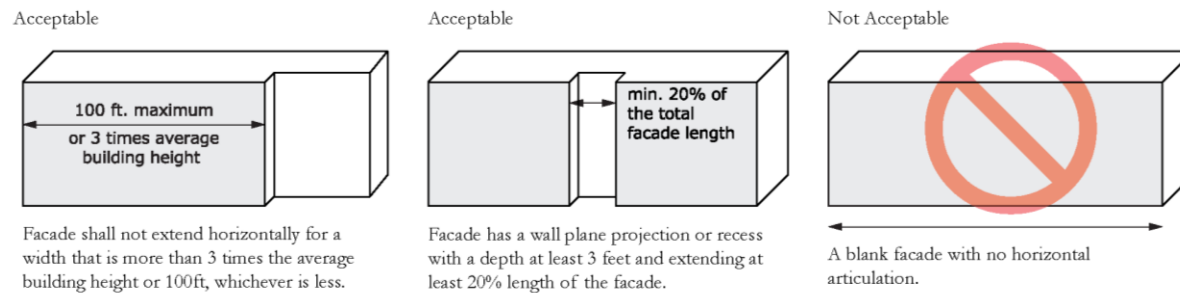


Figure 16-3 Vertical Façade Articulation

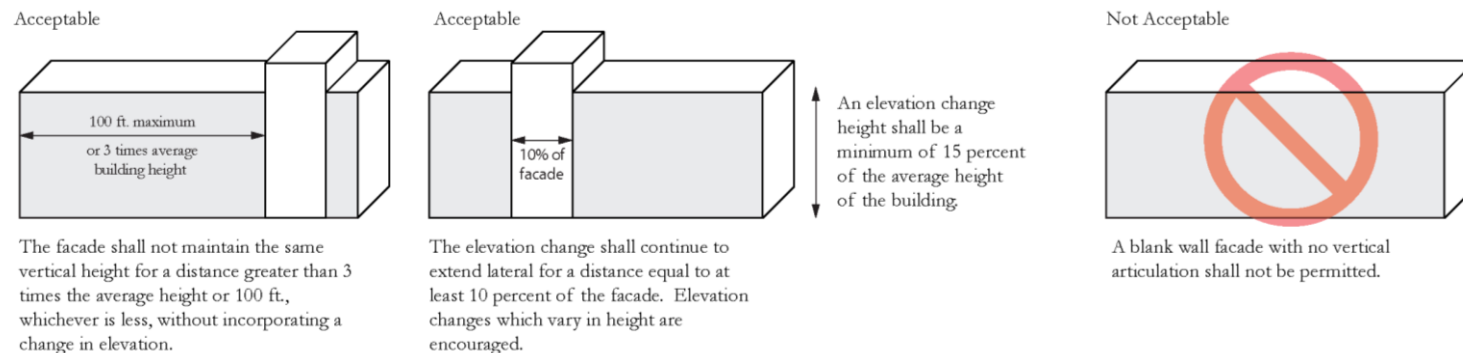


Figure 16-4 Architectural & Structural Bay Building Elements

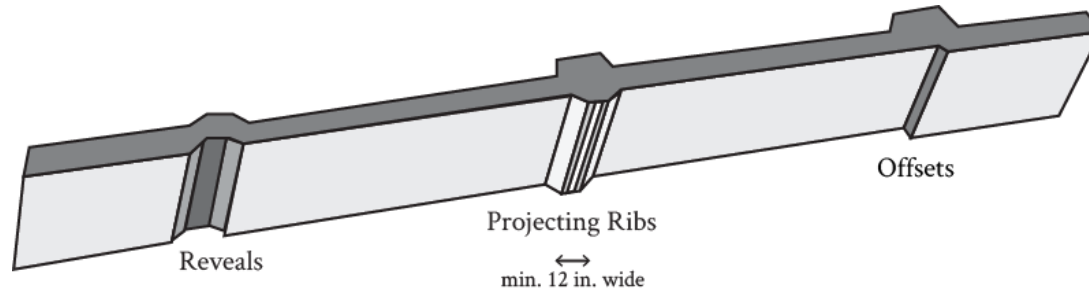
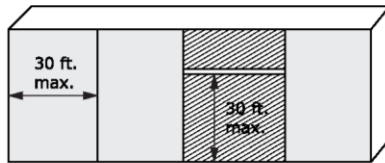


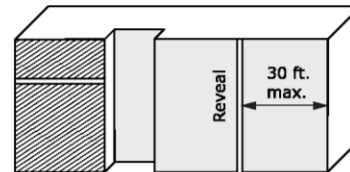
Figure 16-5 Material Articulation

Acceptable



Building facades shall include a min. of one design element (a, b, or c) for a max. dim width of 30 ft. or less repeating either horizontally or vertically.

Acceptable



Relief may occur at any point along the facade having less than 30 ft. max width.

Not Acceptable





17 Mixed Use Employment Planning Sub Area Code

17.1 Applicability

This Code applies in the assessment of all applications within the Mixed Use Employment Planning Sub Area.

17.2 Purpose

The purpose of this Code is to:

- I. Ensure the Guiding Principles and Planning Area Objectives are met.
- II. Ensure development is compatible in scale, intensity and appearance with the purpose of the center.
- III. Ensure development is of human scale and encourage attractive and active street frontages.
- IV. Facilitate an inviting public realm.
- V. Provide for efficient pedestrian and cycle connectivity.
- VI. Ensure the orientation of buildings to streets and public parks.

17.3 Development Standards

All relevant applications shall comply with the minimum development standards of this Code unless superseded by approved alternative development standards. Where there is a conflict between this Code and other codes, such a conflict is to be resolved in accordance with Figure 2-2.



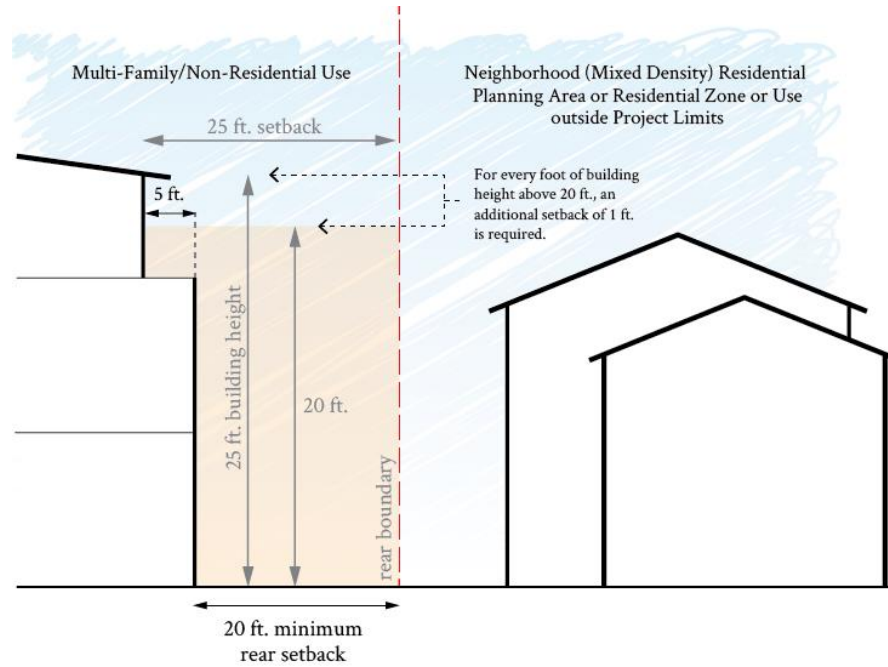
17.3.1 Site Planning

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Maximum Building Height	1.1	65 ft.	Guiding Principle Objectives: 3.2 IV, V; 5.2 III. Planning Area Objectives: 9.2.1 III, XV. Code Purpose: 17.2 I, II, III.
Street Setback	2.1	Minimum 15 ft.	Guiding Principle Objectives: 3.2 IV, V; 5.2 III. Planning Area Objectives: 9.2.1 III, XV. Code Purpose: 17.2 I, II, III.
Side & Rear Setback	3.1	Minimum 6 ft.; or 5 ft. where access is provided via an alley.	Guiding Principle Objectives: 3.2 IV, V; 5.2 III. Planning Area Objectives: 9.2.1 III, XV. Code Purpose: 17.2 I, II, III.
Distance between Buildings	4.1	Buildings sited on a single lot shall be setback a minimum of: <ul style="list-style-type: none">20 ft. between buildings sited front to rear;40 ft. between buildings sited front to front. Note: Refer to Figure 25-1 for illustration of applicable building formations.	Guiding Principle Objectives: 3.2 IV, V, VI; 5.2 III. Planning Area Objectives: 9.2.1 III, XV. Code Purpose: 17.2 I, II, III, IV.
Minimum Setback from Adjoining Residential Uses	5.1	<i>Multi-Family Dwelling, Mixed Use & Non-Residential Developments only:</i> Where adjoining the Neighborhood (Mixed Density) Residential Planning Area or a residential zone or use outside the project limits, side setbacks are a minimum of 20 ft. Any portion of a building that exceeds 20 ft. in height shall be setback an additional 1 ft. for every foot of the building over 20 ft. – refer to Figure 17-1. Notes: The minimum residential setback only applies to that lot line that directly adjoins a Neighborhood (Mixed Density) Residential Planning Area, or residential zone or use outside the project limits. Where a non-residential use or multi-family use abuts another multi-family use, this standard is not applicable	Guiding Principle Objectives: 3.2 IV, V; 5.2 III. Planning Area Objectives: 9.2.1 III, XV, XVI. Code Purpose: 17.2 I, II, III.



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Setback Encroachment	6.1	<p>The following building elements may encroach setback lines:</p> <ul style="list-style-type: none"> ▪ Awnings, canopies and weather protection features associated with ground floor non-residential uses: a maximum of 10 ft. and a minimum clearance of 8 ft.; ▪ Eaves and gutters: a maximum of 18 in. and a minimum clearance of 8 ft.; ▪ Accessory environmental design elements and low-impact development features, including (but not limited to) rainwater systems, solar collectors, bicycle storage, and the like: maximum encroachment at the discretion of the Planning Director; and ▪ Any other accessory external building fixture deemed appropriate by the Planning Director: maximum encroachment at the discretion of the Planning Director. 	<p>Guiding Principle Objectives: 3.2 IV, V; 5.2 III.</p> <p>Planning Area Objectives: 9.2.1 III, XV.</p> <p>Code Purpose: 17.2 I, II, III.</p>
Building Orientation	7.1	<p>Each building shall have a pedestrian entrance to the highest-order adjoining roadway. Entrances at building corners may be used to satisfy this requirement.</p> <p>Where a building also fronts an additional street, internal pedestrian accessway, park or civic space with a pedestrian frontage, a second entrance shall address and open directly onto the street, accessway, park or civic space.</p> <p>Building entrances shall be designed in accordance with Section 17.3.3 Development Standards 8.1-8.5.</p> <p>Note:</p> <p>Building entrances may include doors to individual shops or businesses, lobby entrances, entrances to civic spaces (e.g. squares, Plazas), or courtyard entrances to a cluster of shops or businesses.</p>	<p>Guiding Principle Objectives: 3.2 IV, V; 5.2 III; 7.2 I.</p> <p>Planning Area Objectives: 9.2.1 III, XV.</p> <p>Code Purpose: 17.2 I, IV, VI.</p>
Mixed Use Developments with Residential Uses	8.1	<p>In a mixed use development with residential use(s), the gross floor area of the residential component shall be a minimum of 30 percent of the total gross floor area.</p> <p>Note:</p> <p>This requirement only applies to individual developments. It does not apply to Mixed Use Employment Planning Sub Area as a whole.</p>	<p>Guiding Principle Objectives: 3.2 II, IV, V; 5.2 III.</p> <p>Planning Area Objectives: 9.2.1 XVI.</p> <p>Code Purpose: 17.2 I, II.</p>
	9.2	<p>The residential use(s) shall have secure access that is physically and visually separate from publicly accessible non-residential areas.</p>	

Figure 17-1 Mixed Use Employment Planning Sub Area Residential Side and Rear Setbacks



17.3.2 Place, Connectivity & Movement

		MINIMUM DEVELOPMENT STANDARD	ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Civic Spaces	1.1	A civic space, such as a square, park, paseo or plaza, of an area of at least 7,260 sq. ft., is located within a ¼ mile walking distance of 90 percent of all non-residential building entrances within the project.	Guiding Principle Objectives: 3.2 II; 4.2 III. Planning Area Objectives: 9.2.1 III. Code Purpose: 17.2 I, III, IV.
Pedestrian & Bicycle Movement	2.1	Internal pedestrian routes, with a minimum width of 6 ft., shall be provided that connect principal customer entrances to: <ul style="list-style-type: none"> any other buildings on the same lot, or where part of a cohesive development, to buildings within the development; a public sidewalk; any adjoining parking areas; any adjoining civic space, public common area and/or public park; and any adjoining public transit stops. 	Guiding Principle Objectives: 3.2 II, VI, 4.2 III. Planning Area Objectives: 9.2.1 III, VI, VIII. Code Purpose: 17.2 I, III, IV, V.



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Pedestrian & Bicycle Movement (cont'd)	2.2	Where provided, internal bike paths shall be a minimum of 8 ft. Internal multi-use paths shall be a minimum width of 10 ft. Such paths shall connect with any network of bike paths and multi-use paths within the precinct and/or adjoining lots.	
	2.3	All internal accessways shall be visually distinguished from vehicular driving surfaces through the use of curbs and/or durable, low maintenance surface materials, including but not limited to, pavers, bricks or scored or colored concrete.	
	2.4	All internal accessways shall be landscaped on one side, to a minimum depth of 4 ft. except where crossed with streets or other accessways.	
	2.5	Any internal accessway that provides access and connection to uses that are open after dark shall have lighting that complies with the requirements of Section 31.3.6.	
Vehicles & Parking	3.1	All parking and vehicle management requirements shall be in accordance with Section 32.	Guiding Principle Objectives: 3.2 IV, VI, VII; 7.2 I, II, III. Planning Area Objectives: 9.3 V, VI. Code Purpose: 17.2 I, II, III, IV, V.

17.3.3 Detailed Building Design

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Façade Articulation	1.1	A façade shall not extend horizontally for a distance greater than three times the average height or 100 ft., whichever is less, without incorporating a wall plane projection or recess with a minimum depth of 3 ft. and extending at least 20 percent of the length of the façade – refer to Figure 17-2.	Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III. Planning Area Objectives: 9.2.1 III. Code Purpose: 17.2 I, II, III.
		Notes: Offsets may be of varying depth provided the minimum standard is satisfied. The purpose of this standard, the length of the façade shall be considered the total distance of the building line.	



MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Façade Articulation (cont'd)	1.2	<p>A façade shall not maintain the same vertical height for a distance greater than three times the average height or 100 ft., whichever is less, without incorporating a change in elevation.</p> <p>An elevation change shall be a minimum of 15 percent of the average height of the building and the elevation change shall continue to extend laterally for a distance equal to 10 to 70 percent of the entire façade that does not exceed the original distance limitation – refer to Figure 17-3.</p> <p>Note:</p> <p>Elevation changes may be of varying heights provided the minimum standard is satisfied.</p> <p>Vertical articulation should accompany entrances, key focal points or other unique attributes of the façade.</p> <p>For the purpose of this standard, the length of the façade shall be considered the total distance of the building façade.</p>
	1.3	<p>Ground level retail establishments shall have an entrance façade that is a minimum 60 percent glass (with less than 20 percent reflectance).</p>
Building Elements	2.1	<p>Building façades must include a repeating pattern that includes a minimum of three of the following elements:</p> <ul style="list-style-type: none">a. color change;b. texture change;c. material module change; and/ord. an expression of architectural or structural bays through a change in plane no less than 12 in. width, such as an offset, reveal or projecting rib – refer to Figure 17-4. <p>At least one of elements a, b or c shall repeat horizontally. Repetition intervals of an element shall not be more than 30 ft., either horizontally or vertically – refer to Figure 17-5.</p> <p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III. Planning Area Objectives: 9.2.1 III. Code Purpose: 17.2 I, II, III.</p>



		MINIMUM DEVELOPMENT STANDARD	ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Exterior Building Materials	3.1	<p>At least 80 percent of the vertical walls of all buildings (excluding doors and windows) to which these standards apply, shall be finished in a minimum of two primary building materials from the following list:</p> <ul style="list-style-type: none">▪ masonry brick, stone, cast stone, rock, marble, granite, tile;▪ stucco or plaster, except that stucco shall not cover more than 20 percent of the hard vertical surface area of a parking structure;▪ glass with less than 20 percent reflectance (however, no more than 50 percent of the entire building façade shall be glass;▪ split face concrete block, poured-in-place concrete and tilt wall concrete. Any use of concrete products shall have an integrated color and be textured or patterned. Tilt-up wall concrete structures shall include reveals, punch outs or other similar surface characteristics to enhance the façade on a least 10 percent of each façade; and/or▪ metal panels, metal shingles and metal rainscreen systems. <p>Each individual primary building material shall occupy a minimum of 20 percent of the façade.</p> <p>Accent materials are recommended and may occupy a maximum of 20 percent of the façade. Accent materials may include:</p> <ul style="list-style-type: none">▪ Wood or engineered wood type material rated for exterior building construction;▪ Exterior insulation and finish system (EIFS) or equivalent product;▪ Reclaimed, distressed or other antiqued material that meets commercial building standards for durability; and/or▪ Any or all of the primary building materials listed above.	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III.</p> <p>Planning Area Objectives: 9.2.1 III.</p> <p>Code Purpose: 17.2 I, II, III.</p>
	3.2	<p>Where a multi-level parking structure is provided, the structure shall incorporate the same colors, textures, architectural expressions and exterior building materials as at least one of the adjacent buildings.</p>	
Complementary Façade	4.1	<p>For individual buildings, side and rear façades are required to:</p> <ul style="list-style-type: none">▪ Meet Development Standards 1.1-1.3 above, unless such facades are not visible from streets, accessways, parks, civic spaces, or other residential buildings; and▪ Be designed with architectural style and building materials that are complementary to its front façade. <p>Note:</p> <p>“Complementary” will be determined using reasonable and customary design standards.</p>	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III.</p> <p>Planning Area Objectives: 9.2.1 III.</p> <p>Code Purpose: 17.2 I, II, III.</p>



		MINIMUM DEVELOPMENT STANDARD	ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Complementary Façade (cont'd)	4.2	<p>For buildings in a cohesive development, a thematic approach shall be adopted that:</p> <ul style="list-style-type: none">▪ Ensures the architectural style and building materials used on the front façade, other facades and side walls shall be complementary to those of the other buildings in the development;▪ Incorporates vernacular material techniques across the development;▪ Applies development wide strategies to the building form, shading, and landscaping. <p>Note: “Complementary” will be determined using reasonable and customary design standards.</p>	
Solar Protection	5.1	<p>The incorporation of architectural wall shading to reduce solar heat gain is encouraged, but not required, for large building façades.</p> <p>Where provided on buildings within a cohesive development, the architectural wall shading shall be consistent in design and presentation across all buildings.</p> <p>Note: An application shall not be denied or rejected based on failure to meet this minimum development standard.</p>	<p>Guiding Principle Objectives: 3.2 III, IV, V, VI; 4.2 I, II, XII, 5.2 III, IV.</p> <p>Planning Area Objectives: 9.2.1 III, VIII.</p> <p>Code Purpose: 17.2 I, III.</p>
Roof Treatments	6.1	<p>All service structures, elevator/lift motor rooms, satellite dishes and mechanical plants such as HVAC units shall be screened so as not to be visible from street view, accessways, parks or other civic spaces.</p>	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III.</p> <p>Planning Area Objectives: 9.2.1 III.</p> <p>Code Purpose: 17.2 I, II, III.</p>



MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Roof Treatments (cont'd)	6.2	<p>Roofs shall have parapets or similar screening to conceal flat roofs, service structures, lift motor rooms, satellite dishes and mechanical plant such as HVAC units so as not to be visible from street view. The minimum height of such parapets or screens shall not be less than 4 ft. in height and such parapets shall not at any point exceed one-third of the height of the supporting wall, unless proven to not be visible from the adjacent street view. Parapets shall be consistent on all building facades and in keeping with the theme of buildings within a cohesive development.</p> <p>Optional design elements include:</p> <ul style="list-style-type: none">▪ simple vertical design with coping detail; or▪ vernacular three-dimensional cornice treatment; or▪ overhanging eaves, extending no less than 3 ft. past the supporting walls; or <p>sloping roofs that do not exceed the average height of the supporting walls, with an average slope greater than or equal to 1 ft. of vertical rise for every 3 ft. of horizontal run and less than or equal to 1 ft. of vertical rise for every 1 ft. of horizontal run.</p>
	6.3	<p>Metal roofing, tile and composite roofing are permitted.</p>
	6.4	<p>The following types of roofs shall be prohibited:</p> <ul style="list-style-type: none">▪ mansard roofs and canopies without a minimum vertical distance of 8 ft. and at an angle not less than 25 degrees and not greater than 70 degrees;▪ backlit awnings used as a mansard or canopy roof; and▪ sloped roofs with asphalt shingle roofing.
Weather Protection Features	7.1	<p>A weather protection feature(s), such as an arcade, awning, canopy, pergola or other shade device, shall be provided above each entrance to a building, and along any building façade that is directly adjacent to an accessway. The weather protection feature(s) shall have the following specifications:</p> <ul style="list-style-type: none">▪ Minimum width: Equal to the width of the building entrance or building façade to which it relates, with an additional 18 in. on each side;▪ Minimum depth: 6 ft outwards from the façade of building;▪ Minimum clear height: 9 ft. above the pavement. <p>Weather protection features are encouraged as a means of accentuating key building elements, such as windows.</p> <p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III. Planning Area Objectives: 9.2.1 III. Code Purpose: 17.2 I, II, III.</p>

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MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Parking Structures (cont'd)	9.2	No more than 20 percent of the street frontage shall be used for ingress/egress to the parking structure. The parking structure entrance shall be offset a minimum of 15 ft. from the street to allow for a landscape buffer.

Figure 17-2 Horizontal Façade Articulation

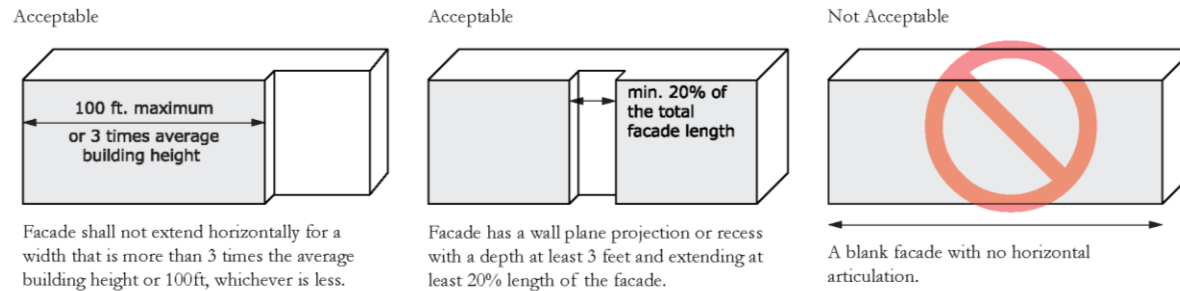


Figure 17-3 Vertical Façade Articulation

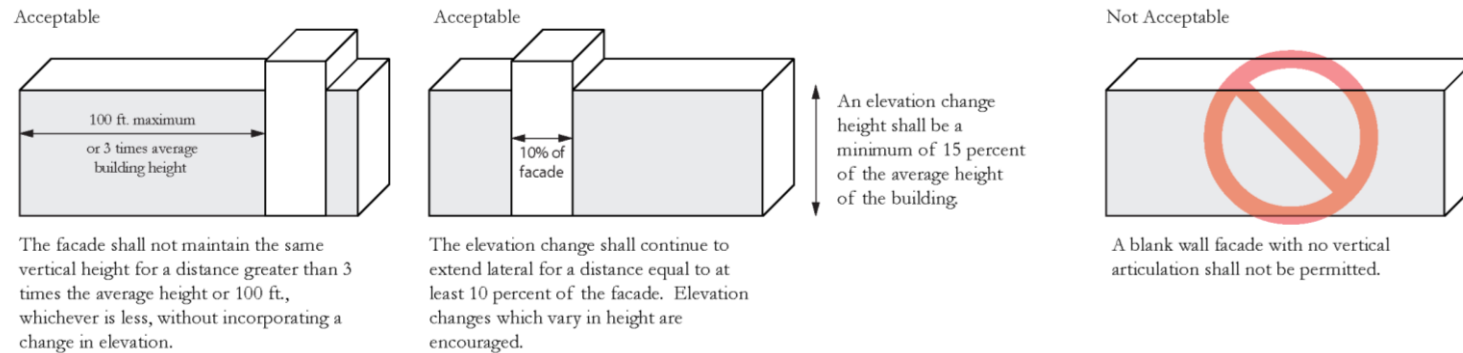


Figure 17-4 Architectural & Structural Bay Building Elements

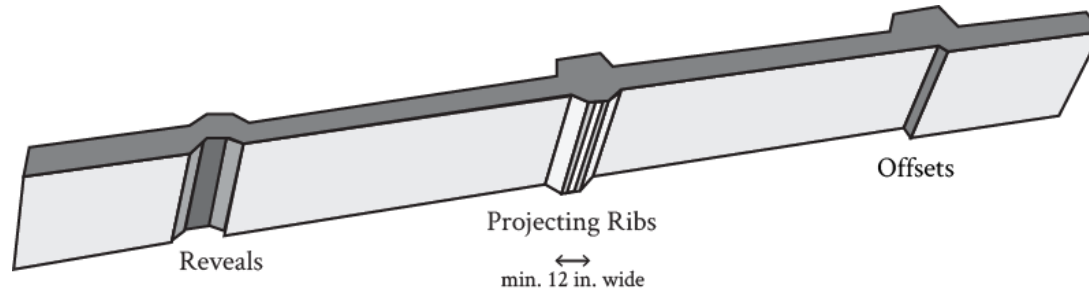
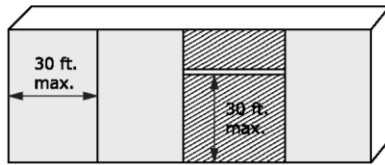


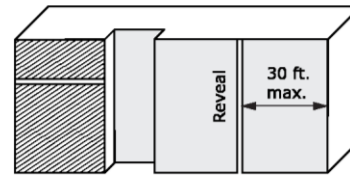
Figure 17-5 Material Articulation

Acceptable



Building facades shall include a min. of one design element (a, b, or c) for a max. dim width of 30 ft. or less repeating either horizontally or vertically.

Acceptable



Relief may occur at any point along the facade having less than 30 ft. max width.

Not Acceptable





18 Neighborhood Center Planning Area Code

18.1 Applicability

This Code applies in the assessment of all applications within the Neighborhood Center Planning Area.

18.2 Purpose

The purpose of this Code is to:

- I. Ensure the Guiding Principles and Planning Area Objectives are met.
- II. Ensure development within the Neighborhood Center Planning Area is compatible in scale, intensity and appearance with the purpose of the center.
- III. Ensure development is of human scale and encourages attractive and active street frontages.
- IV. Facilitate an inviting public realm.
- V. Provide for efficient pedestrian and cycle connectivity.
- VI. Promote the orientation of buildings to streets and public parks.

18.3 Development Standards

All relevant applications shall comply with the minimum development standards of this Code unless superseded by approved alternative development standards. Where there is a conflict between this Code and other codes, such a conflict is to be resolved in accordance with Figure 2-2.



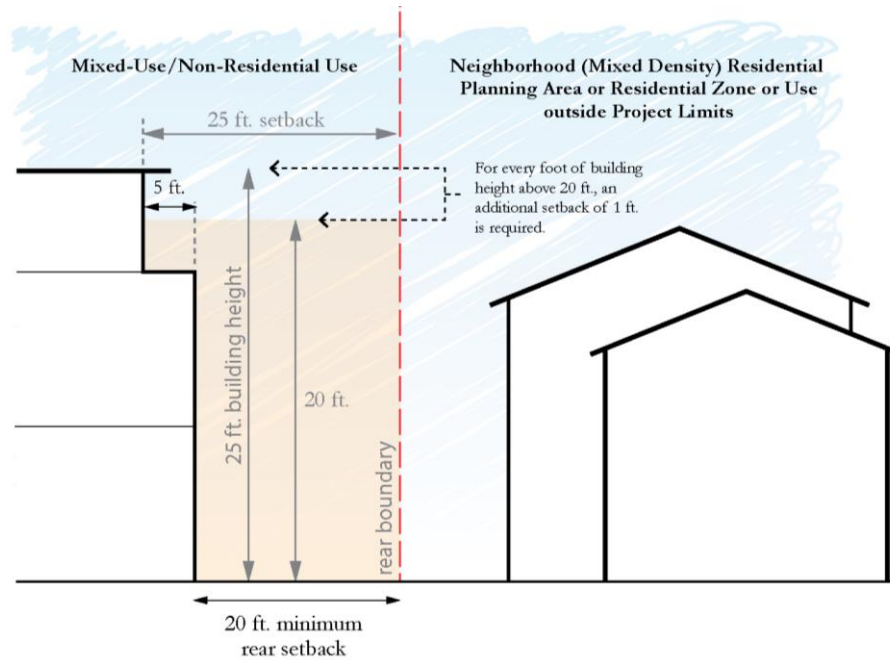
18.3.1 Site Planning

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Maximum Building Height	1.1	45 ft.	Guiding Principle Objectives: 3.2 IV, V; 5.2 III. Planning Area Objectives: 9.3.1 II, IV. Code Purpose: 18.2 I, II, III, IV.
Street Setback	2.1	Minimum 15 ft.	Guiding Principle Objectives: 3.2 IV, V; 5.2 III. Planning Area Objectives: 9.3 II, III, IV. Code Purpose: 18.2 I, II, III, IV, VI.
Side & Rear Setback	3.1	Minimum 6 ft; or 5 ft. where access is provided via an alley.	Guiding Principle Objectives: 3.2 IV, V; 5.2 III. Planning Area Objectives: 9.3.1 II, III, IV. Code Purpose: 18.2 I, II, III.
Minimum Setback from Adjoining Residential Uses	4.1	<p><i>Mixed Use & Non-Residential Developments only:</i></p> <p>Where adjoining the Neighborhood (Mixed Density) Residential Planning Area or a residential zone or use outside the project limits, side setbacks are a minimum of 20 ft.</p> <p>Any portion of a building that exceeds 20 ft. in height shall be setback an additional 1 ft. for every foot of the building over 20 ft. – refer to Figure 18-1.</p> <p>Notes:</p> <p>The minimum residential setback only applies to that lot line that directly adjoins a Neighborhood (Mixed Density) Residential Planning Area, or residential zone or use outside the project limits.</p> <p>Where a non-residential use or mixed use development abuts a multi-family use or mixed use development, this standard is not applicable.</p>	Guiding Principle Objectives: 3.2 IV, V; 5.2 III. Planning Area Objectives: 9.3.1 II, III, IV. Code Purpose: 18.2 I, II, III.
Distance between Buildings	5.1	<p>Buildings sited on a single lot shall be setback a minimum of:</p> <ul style="list-style-type: none">▪ 20 ft. between buildings sited front to rear;▪ 40 ft. between buildings sited front to front. <p>Note: Refer to Figure 25-1 for illustration of applicable building formations.</p>	Guiding Principle Objectives: 3.2 IV, V; 5.2 III. Planning Area Objectives: 9.3.1 II, V, VI. Code Purpose: 18.2 I, II, III.



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Setback Encroachment	6.1	<p>The following building elements may encroach setback lines:</p> <ul style="list-style-type: none"> ▪ Awnings, canopies and weather protection features associated with ground floor non-residential uses: a maximum of 10 ft. and a minimum clearance of 8 ft.; ▪ Eaves and gutters: a maximum of 18 in. and a minimum clearance of 8 ft.; ▪ Accessory environmental design elements and low-impact development features, including (but not limited to) rainwater systems, solar collectors, bicycle storage, and the like: maximum encroachment at the discretion of the Planning Director; and ▪ Any other accessory external building fixture deemed appropriate by the Planning Director: maximum encroachment at the discretion of the Planning Director. 	<p>Guiding Principle Objectives: 3.2 IV, V; 5.2 III.</p> <p>Planning Area Objectives: 9.3.1 II, V, VI.</p> <p>Code Purpose: 18.2 I, II, III.</p>
Building Orientation	7.1	<p>Each building shall have a pedestrian entrance to the highest-order adjoining roadway. Entrances at building corners may be used to satisfy this requirement.</p> <p>Where a building also fronts an additional street, internal pedestrian accessway, park or civic space with a pedestrian frontage, a second entrance shall address and open directly onto the street, accessway, park or civic space.</p> <p>Building entrances shall be designed in accordance with Section 18.3.3 Development Standards 8.1-8.4.</p> <p>Note:</p> <p>Building entrances may include doors to individual shops or businesses, lobby entrances, entrances to civic spaces (e.g. squares, Plazas), or courtyard entrances to a cluster of shops or businesses.</p>	<p>Guiding Principle Objectives: 3.2 IV, V; 5.2 III; 7.2 I.</p> <p>Planning Area Objectives: 9.3.1 II, III, IV.</p> <p>Code Purpose: 18.2 I, II, III, IV, VI.</p>
Mixed Use Developments with Residential Uses	8.1	<p>In a mixed use development with residential use(s), the gross floor area of the residential component shall be a minimum of 30 percent and a maximum of 70 percent of the total gross floor area of the building to which it relates.</p> <p>Note: This requirement only applies to individual developments. It does not apply to the Neighborhood Center Planning Area as a whole.</p>	<p>Guiding Principle Objectives: 3.2 II, IV, V; 5.2 III.</p> <p>Planning Area Objectives: 9.3.1 II, IV.</p> <p>Code Purpose: 18.2 I, II, III, VI, VI.</p>
	8.2	<p>The residential use(s) shall have secure access that is physically and visually separate from publicly accessible non-residential areas.</p>	

Figure 18-1 Neighborhood Center Planning Area Residential Side and Rear Setbacks



18.3.2 Place, Connectivity & Movement

		MINIMUM DEVELOPMENT STANDARD	ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Public Common Area	1.1	A minimum of one public common area shall be provided in a location that is prominent within the Neighborhood Center Planning Area, and visible and conveniently accessible from a public road, sidewalk or trail.	Guiding Principle Objectives: 3.2 VI; 5.2 II, III, VI; 6.2 I, II, IV; 7.2 I, II. Planning Area Objectives: 9.3.1 II, III, VII, IX. Code Purpose: 18.2 I, II, III, IV, V, VI.



MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Public Common Area (cont'd)	1.2	<p>The public common area shall be a minimum of 3,000 sq. ft. and contain the following amenities:</p> <ul style="list-style-type: none"> • Mandatory improvements and amenities: bike rack (min. 2 x 2-bike racks per 3,000 sq. ft of public common space); drinking fountain and tap including pet drinking facility; electrical outlet; landscaping (softscape and hardscape); lighting (general and security); seating (2 individual benches); signage (directional and identification); and trash receptacle including pet waste receptacle. • Optional improvements and amenities that may be provided based on the location, size and function of the public common area: game table; pavilion/shade structure; picnic table (1 table and no grill); public art; tables & chairs serving restaurant businesses adjacent to the public common area; playscape. <p>Additional improvements and amenities not listed above may be provided.</p>
Pedestrian & Bicycle Movement	2.1	<p>Internal pedestrian routes, with a minimum width of 6 ft., shall be provided that connect principal customer entrances to:</p> <ul style="list-style-type: none"> ▪ any other buildings on the same lot, or where part of a cohesive development, to buildings within the development; ▪ a public sidewalk; ▪ any adjoining parking areas; ▪ any adjoining civic space, public common area and/or public park; and ▪ any adjoining public transit stops. <p>Guiding Principle Objectives: 3.2 II, VI; 4.2 III; 5.2 III; 7.2 I, II, III. Planning Area Objectives: 9.3.1 II, III, VI, VIII. Code Purpose: 18.2 I, IV, V.</p>
	2.2	Where provided, internal bike paths shall be a minimum of 8 ft. Internal multi-use paths shall be a minimum width of 10 ft. Such paths shall connect with any network of bike paths and multi-use paths within the precinct and/or adjoining lots.
	2.3	All internal accessways shall be visually distinguished from vehicular driving surfaces through the use of curbs and/or durable, low maintenance surface materials, including (but not limited to) pavers, bricks, or scored or colored concrete.
	2.4	All internal accessways shall be landscaped on one side, to a minimum depth of 4 ft. except where crossed with streets or other accessways.
	2.5	Any internal accessway that provides access and connection to uses that are open after dark shall have lighting that complies with the requirements of Section 31.3.6.



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Vehicles & Parking	3.1	All parking and vehicle management requirements shall be in accordance with Section 32.	Guiding Principle Objectives: 3.2 IV, VI, VII; 7.2 I, II, III. Planning Area Objectives: 9.3.1 V, VI. Code Purpose: 18.2 I, II, III, IV, V.

18.3.3 Detailed Building Design

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Façade Articulation	1.1	<p>A façade shall not extend horizontally for a distance greater than three times the average height or 100 ft., whichever is less, without incorporating a wall plane projection or recess with a minimum depth of 3 ft. and extending at least 20 percent of the length of the façade – refer to Figure 18-2.</p> <p>Notes:</p> <p>Offsets may be of varying depth provided the minimum standard is satisfied.</p> <p>The purpose of this standard, the length of the façade shall be considered the total distance of the building line.</p>	Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III. Planning Area Objectives: 9.3.1 IV. Code Purpose: 18.2 I, II, III, IV, VI.
	1.2	<p>A façade shall not maintain the same vertical height for a distance greater than three times the average height or 100 ft., whichever is less, without incorporating a change in elevation.</p> <p>An elevation change shall be a minimum of 15 percent of the average height of the building and the elevation change shall continue to extend laterally for a distance equal to 10 to 70 percent of the entire façade that does not exceed the original distance limitation – refer to Figure 18-3.</p> <p>Notes:</p> <p>Elevation changes may be of varying heights provided the minimum standard is satisfied.</p> <p>Vertical articulation should accompany entrances, key focal points or other unique attributes of the façade.</p> <p>For the purpose of this standard, the length of the façade shall be considered the total distance of the building façade.</p>	
	1.3	Ground level retail establishments shall have an entrance façade that is a minimum 60 percent glass (with less than 20 percent reflectance).	



MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Building Elements	<p>2.1 Building façades must include a repeating pattern that includes a minimum of three of the following elements:</p> <ul style="list-style-type: none"> a. color change; b. texture change; c. material module change; and/or d. an expression of architectural or structural bays through a change in plane no less than 12 in. width, such as an offset, reveal or projecting rib – refer to Figure 18-4. <p>At least one of elements a, b or c shall repeat horizontally. Repetition intervals of an element shall not be more than 30 ft., either horizontally or vertically – refer to Figure 18-5.</p>	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III.</p> <p>Planning Area Objectives: 9.3.1 IV.</p> <p>Code Purpose: 18.2 I, II, III, IV, VI.</p>
Exterior Building Materials	<p>3.1 At least 80 percent of the vertical walls of all buildings (excluding doors and windows) to which these standards apply, shall be finished in a minimum of two primary building materials from the following list:</p> <ul style="list-style-type: none"> ▪ masonry brick, stone, cast stone, rock, marble, granite, tile; ▪ stucco or plaster, except that stucco shall not cover more than 20 percent of the hard vertical surface area of a parking structure; ▪ glass with less than 20 percent reflectance (however, no more than 50 percent of the entire building façade shall be glass; ▪ split face concrete block, poured-in-place concrete and tilt wall concrete. Any use of concrete products shall have an integrated color and be textured or patterned. Tilt-up wall concrete structures shall include reveals, punch outs or other similar surface characteristics to enhance the façade on a least 10 percent of each façade; and/or ▪ metal panels, metal shingles and metal rainscreen systems. <p>Each individual primary building material shall occupy a minimum of 20 percent of the façade.</p> <p>Accent materials are recommended and may occupy a maximum of 20 percent of the façade. Accent materials may include:</p> <ul style="list-style-type: none"> ▪ Wood or engineered wood type material rated for exterior building construction; ▪ Exterior insulation and finish system (EIFS) or equivalent product; ▪ Reclaimed, distressed or other antiqued material that meets commercial building standards for durability; and/or ▪ Any or all of the primary building materials listed above. <p>3.2 Where a multi-level parking structure is provided, the structure shall incorporate the same colors, textures, architectural expressions and exterior building materials as at least one of the adjacent buildings.</p>	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III.</p> <p>Planning Area Objectives: 9.3.1 IV, VII, VIII.</p> <p>Code Purpose: 18.2 I, II, III, IV, VI.</p>



		MINIMUM DEVELOPMENT STANDARD	ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Complementary Façade	4.1	<p>For individual buildings, side and rear façades are required to:</p> <ul style="list-style-type: none">▪ Meet Development Standards 1.1-1.3, unless such facades are not visible from streets, accessways, parks, civic spaces, or other residential buildings; and▪ Be designed with architectural style and building materials that are complementary to its front façade. <p>Note: “Complementary” will be determined using reasonable and customary design standards.</p>	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III. Planning Area Objectives: 9.3.1 IV. Code Purpose: 18.2 I, II, III, IV, VI.</p>
	4.2	<p>For buildings in a cohesive development, a thematic approach shall be adopted that:</p> <ul style="list-style-type: none">▪ Ensures the architectural style and building materials used on the front façade, other facades and side walls shall be complementary to those of the other buildings in the development;▪ Incorporates vernacular material techniques across the development;▪ Applies development wide strategies to the building form, shading, and landscaping. <p>Note: “Complementary” will be determined using reasonable and customary design standards.</p>	
Solar Protection	5.1	<p>The incorporation of architectural wall shading to reduce solar heat gain is encouraged, but not required, for large building façades.</p> <p>Where provided on buildings within a cohesive development, the architectural wall shading shall be consistent in design and presentation across all buildings.</p> <p>Note: An application shall not be denied or rejected based on failure to meet this minimum development standard.</p>	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III. Planning Area Objectives: 9.3.1 IV, VII, VIII. Code Purpose: 18.2 I, II, III, IV, VI.</p>
Roof Treatments	6.1	<p>All service structures, elevator/lift motor rooms, satellite dishes and mechanical plants such as HVAC units shall be screened so as not to be visible from street view, accessways, parks or other civic spaces.</p>	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III. Planning Area Objectives: 9.3.1 IV, VII, VIII.</p>



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Roof Treatments (cont'd)	6.2	<p>Roofs shall have parapets or similar screening to conceal flat roofs, service structures, lift motor rooms, satellite dishes and mechanical plant such as HVAC units so as not to be visible from street view. The minimum height of such parapets or screens shall not be less than 4 ft. in height and such parapets shall not at any point exceed one-third of the height of the supporting wall, unless proven to not to be visible from the adjacent street view. Parapets shall be consistent on all building facades and in keeping with the theme of buildings within a cohesive development.</p> <p>Optional design elements include:</p> <ul style="list-style-type: none">▪ Simple vertical design w/ coping detail;▪ Vernacular three-dimensional cornice treatment;▪ Overhanging eaves, extending no less than 3 ft. past the supporting walls;▪ Sloping roofs that do not exceed the average height of the supporting walls, with an average slope greater than or equal to 1 ft. of vertical rise for every 3 ft. of horizontal run and less than or equal to 1 ft. of vertical rise for every 1 ft. of horizontal run.	Code Purpose: 18.2 I, II, III, IV, VI.
	6.3	Metal roofing, tile, and composite roofing are permitted.	
Weather Protection Features	6.4	<p>The following types of roofs shall be prohibited:</p> <ul style="list-style-type: none">▪ Mansard roofs and canopies without a minimum vertical distance of 8 ft. and at an angle not less than 25 degrees and not greater than 70 degrees;▪ Backlit awnings used as a mansard or canopy roof; and▪ Sloped roofs with asphalt shingle roofing.	Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III. Planning Area Objectives: 9.3.1 IV, VII, VIII. Code Purpose: 18.2 I, II, III, IV, VI.
	7.1	<p>A weather protection feature(s), such as an arcade, awning, canopy, pergola or other shade device, shall be provided above each entrance to a building, and along any building façade that is directly adjacent to an accessway. The weather protection feature(s) shall have the following specifications:</p> <ul style="list-style-type: none">▪ Minimum width: Equal to the width of the building entrance or building façade to which it relates, with an additional 18 in. on each side;▪ Minimum depth: 6 ft outwards from the façade of building;▪ Minimum clear height: 9 ft. above the pavement. <p>Weather protection features are encouraged as a means of accentuating key building elements, such as windows.</p>	



		MINIMUM DEVELOPMENT STANDARD	ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Weather Protection Features (cont'd)	7.2	<p>For weather protection features that extend for the full extent of a building façade, the weather protection feature may be broken into sections, provided:</p> <ul style="list-style-type: none"> ▪ The gap between sections is 8 ft. or less; and ▪ The aggregate uncovered area (including landscaping) shall not exceed 25 percent of the building façade. 	
Entryways	8.1	Building entrances may include doors to individual shops or businesses, lobby entrances, entrances to civic spaces (e.g. squares, Plazas), public common areas, or courtyard entrances to a cluster of shops or businesses.	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III. Planning Area Objectives: 9.3.1 IV. Code Purpose: 18.2 I, II, III, IV, VI.</p>
	8.2	Any front entry shall be set back from the drive aisle a minimum distance of 15 ft.	
	8.3	Landscaping shall be provided that complies with the requirements of Section 31.3.2.	
	8.4	The principle entrance to a building shall be illuminated and comply with the requirements of Section 31.3.6.	
Parking Structures	9.1	<p>Where a multi-story parking structure is provided, the structure shall not abut the principal street frontage, unless non-parking uses are integrated into the ground level of the structure. Where there are two or more street frontages, the parking structure may be exposed to the lowest order street however it shall provide:</p> <ul style="list-style-type: none"> • Landscaping with a minimum 2 ft. depth against the parking structure wall for the entire facade at street level; or • A vegetated wall for a minimum of 50 percent of the vertical height of the parking structure. 	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III. Planning Area Objectives: 9.3.1 IV. Code Purpose: 18.2 I, II, III, IV, VI.</p>
	9.2	No more than 20 percent of the street frontage shall be used for ingress/egress to the parking structure. The parking structure entrance shall be offset a minimum of 15 ft. from the street to allow for a landscape buffer.	

Figure 18-2 Horizontal Façade Articulation

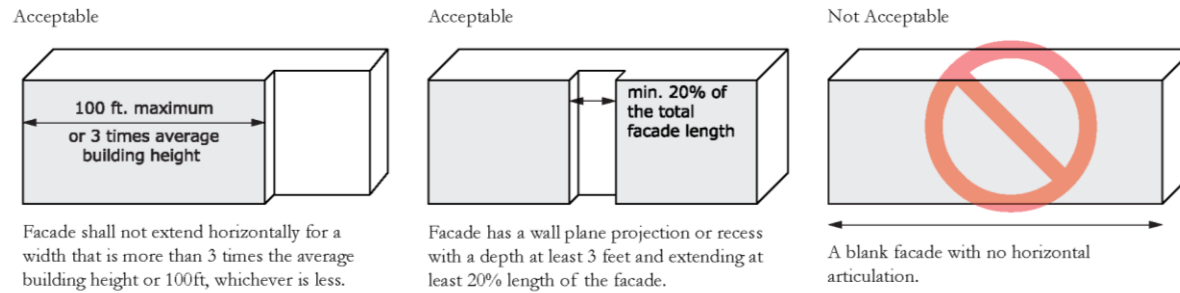


Figure 18-3 Vertical Façade Articulation

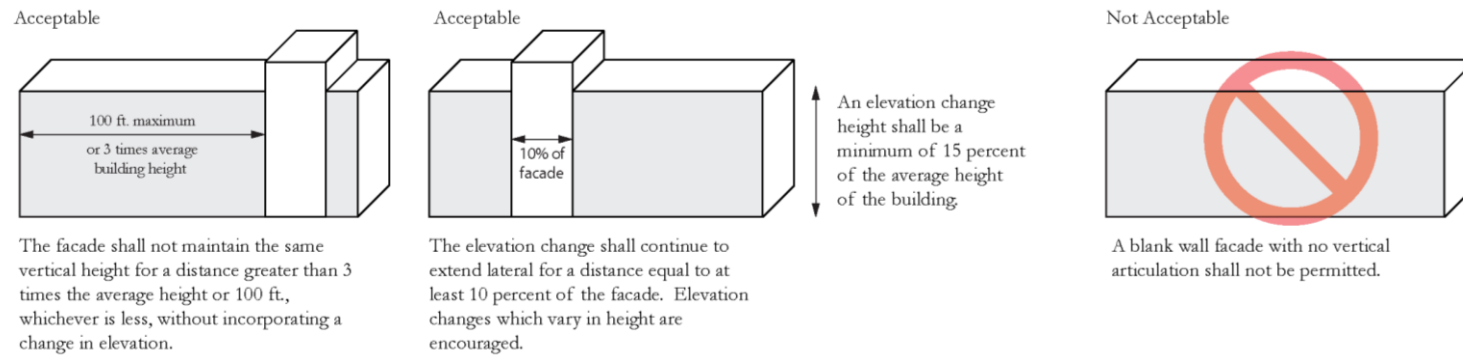


Figure 18-4 Architectural & Structural Bay Building Elements

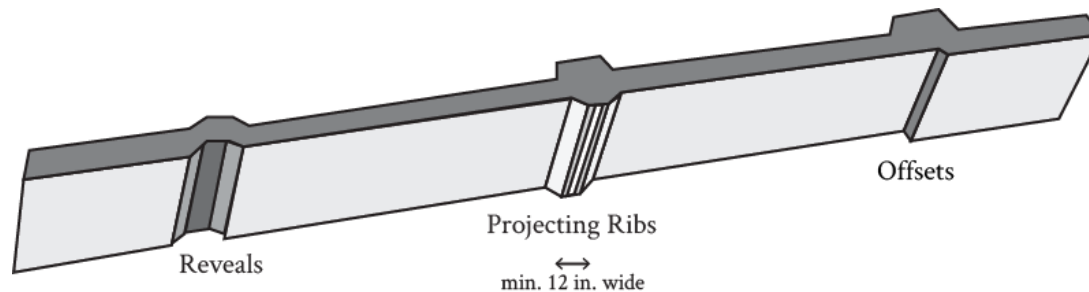
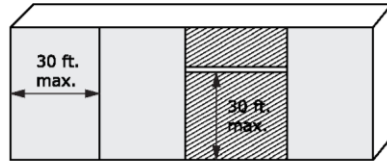


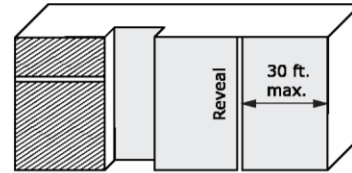
Figure 18-5 Material Articulation

Acceptable



Building facades shall include a min. of one design element (a, b, or c) for a max. dim width of 30 ft. or less repeating either horizontally or vertically.

Acceptable



Relief may occur at any point along the facade having less than 30 ft. max width.

Not Acceptable





19 Resort Planning Area Code

19.1 Applicability

The code applies in the assessment of all applications within the Resort Planning Area.

19.2 Purpose

The purpose of this Code is to:

- I. Ensure the Guiding Principles and Planning Area Objectives are met.
- II. Ensure development within the Resort Planning Area is compatible in scale, intensity and appearance with the purpose of the center.
- III. Ensure development is of human scale and encourages attractive street frontages.
- IV. Vehicle access and parking is convenient for the guests, residents and their visitors and service providers.
- V. Facilitate an inviting public realm.
- VI. Provide for efficient pedestrian and cycle connectivity.
- VII. Promote the orientation of buildings to streets and public parks.

19.3 Development Standards

The relevant application shall comply with the minimum development standards of this Code unless superseded by approved alternative development standards. Where there is a conflict between this Code and other codes, such a conflict is to be resolved in accordance with Figure 2-2.



19.3.1 Site Planning

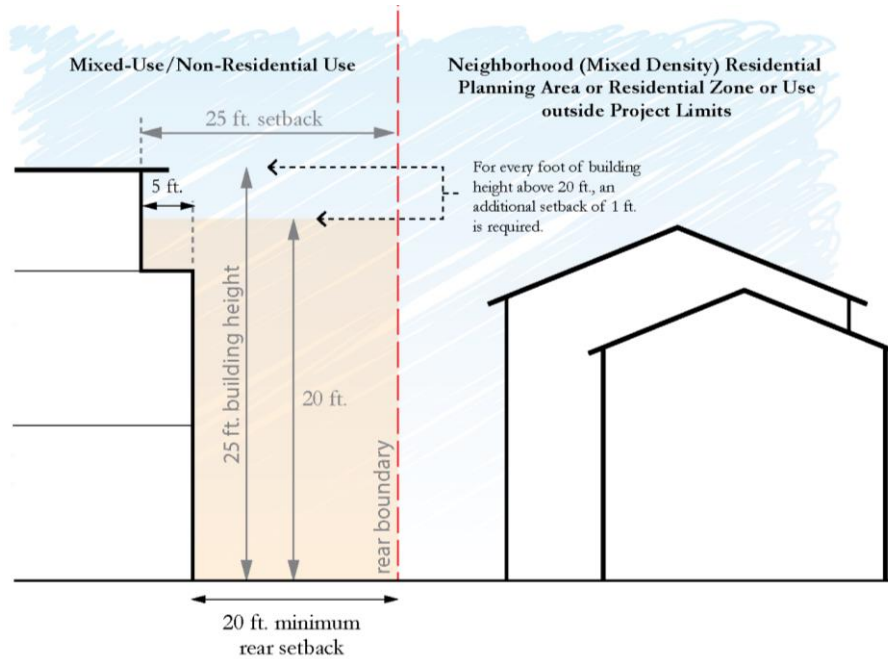
MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Maximum Building Height	1.1	<i>Non-Residential Use:</i> 85 ft. <i>Residential Use:</i> 55 ft <i>Cohesive Development consisting of one or more of Non-Residential, Mixed Use, or Multi-Family Dwelling Uses:</i> 65 ft.	Guiding Principle Objectives: 3.2 IV, V, IX; 5.2 III; 6.2 VI. Planning Area Objectives: 9.4.1 I, II, III. Code Purpose: 19.2 II, III.
Minimum Street Setback	2.1	<i>Non-Residential Use:</i> 10 ft. <i>Residential Use:</i> <ul style="list-style-type: none">Building: 10 ft. to the façade.Garage: 22 ft. from the rear of the sidewalk. <i>Cohesive Development consisting of one or more of Non-Residential, Mixed Use, or Multi-Family Dwelling Uses:</i> 10 ft.	Guiding Principle Objectives: 3.2 IV, V, IX; 5.2 III; 6.2 VI. Planning Area Objectives: 9.4.1 I, II, III. Code Purpose: 19.2 II, III.
Minimum Side Setback	3.1	<i>Non-Residential Use:</i> <ul style="list-style-type: none">where adjoining a residential use: 20 ft.where adjoining a non-residential use: 5 ft. <i>Residential Use:</i> 5 ft. <i>Cohesive Development consisting of one or more of Non-Residential, Mixed Use, or Multi-Family Dwelling Uses:</i> 0 ft.	Guiding Principle Objectives: 3.2 IV, V, IX; 5.2 III; 6.2 VI. Planning Area Objectives: 9.4.1 I, II, III. Code Purpose: 19.2 II, III.
Minimum Rear Setback	4.1	<i>Non-Residential Use:</i> 5ft. <i>Residential Use:</i> 20 ft. or 5 ft. where access is provided via an alley. <i>Cohesive Development consisting of one or more of Non-Residential, Mixed Use, or Multi-Family Dwelling Uses:</i> 0 ft.	Guiding Principle Objectives: 3.2 IV, V, IX; 5.2 III; 6.2 VI. Planning Area Objectives: 9.4.1 I, II, III. Code Purpose: 19.2 II, III.
Setback between Buildings	5.1	Buildings sited on a single lot shall be setback a minimum of: <ul style="list-style-type: none">20 ft. between buildings sited front to rear;40 ft. between buildings sited front to front. Note: Refer to Figure 25-1 for illustration of applicable building formations.	Guiding Principle Objectives: 3.2 IV, V, IX; 5.2 III; 6.2 VI. Planning Area Objectives: 9.4.1 I, II, III. Code Purpose: 19.2 II, III.



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Minimum Setback from Adjoining Residential Uses	6.1	<p><i>Multi-Family Dwelling, Mixed Use & Non-Residential Developments only:</i></p> <p>Where adjoining the Neighborhood (Mixed Density) Residential Planning Area or a residential zone or use outside the project limits, side setbacks are a minimum of 20 ft.</p> <p>Any portion of a building that exceeds 20 ft. in height shall be setback an additional 1 ft. for every foot of the building over 20 ft. – refer to Figure 19-1.</p> <p>Notes:</p> <p>The minimum residential setback only applies to that lot line that directly adjoins a Neighborhood (Mixed Density) Residential Planning Area, or residential zone or use outside the project limits.</p> <p>Where a non-residential use or multi-family use abuts another multi-family use, this standard is not applicable</p>	<p>Guiding Principle Objectives: 3.2 IV, V, IX; 5.2 III; 6.2 VI.</p> <p>Planning Area Objectives: 9.4.1 I, II, III.</p> <p>Code Purpose: 19.2 II, III.</p>
Setback Encroachment	7.1	<p>The following building elements may encroach setback lines:</p> <ul style="list-style-type: none"> ▪ Awnings, canopies and weather protection features: a maximum of 10 ft. and a minimum clearance of 8 ft.; ▪ Eaves and gutters: a maximum of 18 in. and a minimum clearance of 8 ft.; ▪ Pools, sheds, pergolas and other accessory structures: minimum 5 ft. ▪ Accessory environmental design elements and low-impact development features, including (but not limited to) rainwater systems, solar collectors, bicycle storage, and the like: maximum encroachment at the discretion of the Planning Director; and ▪ Any other accessory external building fixture deemed appropriate by the Planning Director: maximum encroachment at the discretion of the Planning Director. 	<p>Guiding Principle Objectives: 3.2 IV, V, IX; 5.2 III; 6.2 VI.</p> <p>Planning Area Objectives: 9.4.1 I, II, III.</p> <p>Code Purpose: 19.2 II, III.</p>
Building Orientation	8.1	<p><i>Non-Residential and Multi-Family Uses only:</i></p> <p>Each building shall have a pedestrian building entrance to the highest-order adjoining a street, internal pedestrian accessway, park or civic space. Entrances at building corners may be used to satisfy this requirement.</p> <p>Where a building also fronts an additional street, internal pedestrian accessway, park or civic space with a pedestrian frontage, a second entrance shall address and open directly onto the street, accessway, park or civic space.</p> <p>Building entrances may include doors to individual shops or businesses, lobby entrances, entrances to civic spaces (e.g. squares, Plazas), or courtyard entrances to a cluster of shops or businesses.</p>	<p>Guiding Principle Objectives: 3.2 IV, V, IX; 5.2 III; 6.2 VI; 7.2 I</p> <p>Planning Area Objectives: 9.4.1 I, II, III, IV.</p> <p>Code Purpose: 19.2 II, III, V, VII.</p>

MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Building Orientation (cont'd)	8.2	The principal entrance to a building shall be illuminated.

Figure 19-1 Resort Planning Area Residential Side & Rear Setbacks



19.3.2 Place, Connectivity & Movement

MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Pedestrian & Bicycle Movement	1.1	Internal pedestrian routes, with a minimum width of 4 ft., shall be provided that connect: <ul style="list-style-type: none"> any other buildings on the same lot, or where part of a cohesive development, to buildings within the development; a public or private sidewalk; any adjoining civic space, public common area and/or public park; and any adjoining public transit stops.



MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Pedestrian & Bicycle Movement (cont'd)	1.2	Where provided, internal public bike paths shall be a minimum of 8 ft. Internal public multi-use paths shall be a minimum width of 10 ft. Such paths shall connect with any network of bike paths and multi-use paths within the precinct and/or adjoining lots.
	1.3	All internal accessways shall be visually distinguished from vehicular driving surfaces through the use of curbs and/or durable, low maintenance surface materials, including but not limited to, pavers, bricks or scored or colored concrete.
	1.4	Any internal accessway that provides access and connection to uses that are open after dark shall have lighting that complies with the requirements of Section 31.3.6.

19.3.3 Detailed Building Design

MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Façade Articulation	1.1	Guiding Principle Objectives: 3.2 IX; 4.2 I, XII; 5.2 III Planning Area Objectives: 9.4.1 I, II, III, VI. Code Purpose: 19.2 II, III, VII.
	1.2	

A façade shall not extend horizontally for a distance greater than three times the average height or 100 ft., whichever is less, without incorporating a wall plane projection or recess with a minimum depth of 3 ft. and extending at least 20 percent of the length of the façade – refer to Figure 19-2.

Notes:

Offsets may be of varying depth provided the minimum standard is satisfied.

The purpose of this standard, the length of the façade shall be considered the total distance of the building line.

A façade shall not maintain the same vertical height for a distance greater than three times the average height or 100 ft., whichever is less, without incorporating a change in elevation.

An elevation change shall be a minimum of 15 percent of the average height of the building and the elevation change shall continue to extend laterally for a distance equal to 10 to 70 percent of the entire façade that does not exceed the original distance limitation – refer to Figure 19-3.

Note:

Elevation changes may be of varying heights provided the minimum standard is satisfied.

Vertical articulation should accompany entrances, key focal points or other unique attributes of the façade.

For the purpose of this standard, the length of the façade shall be considered the total distance of the building façade.



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Façade Articulation (cont'd)	1.3	Ground level retail establishments shall have an entrance façade that is a minimum 60 percent glass (with less than 20 percent reflectance).	
Building Elements	2.1	<p>Building façades must include a repeating pattern that includes a minimum of three of the following elements:</p> <ol style="list-style-type: none">color change;texture change;material module change; and/oran expression of architectural or structural bays through a change in plane no less than 12 in. width, such as an offset, reveal or projecting rib – refer to Figure 19-4. <p>At least one of elements a, b or c shall repeat horizontally. Repetition intervals of an element shall not be more than 30 ft., either horizontally or vertically – refer to Figure 19-5.</p>	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII; 5.2 III</p> <p>Planning Area Objectives: 9.4.1 I, II, III, VI.</p> <p>Code Purpose: 19.2 II, III, VII.</p>
Exterior Building Materials	3.1	<p>At least 80 percent of the vertical walls of all buildings (excluding doors and windows) to which these standards apply, shall be finished in a minimum of two primary building materials from the following list:</p> <ul style="list-style-type: none">masonry brick, stone, cast stone, rock, marble, granite, tile;stucco or plaster, except that stucco shall not cover more than 20 percent of the hard vertical surface area of a parking structure;glass with less than 20 percent reflectance (however, no more than 50 percent of the entire building façade shall be glass;split face concrete block, poured-in-place concrete and tilt wall concrete. Any use of concrete products shall have an integrated color and be textured or patterned. Tilt-up wall concrete structures shall include reveals, punch outs or other similar surface characteristics to enhance the façade on a least 10 percent of each façade; and/ormetal panels, metal shingles and metal rainscreen systems. <p>Each individual primary building material shall occupy a minimum of 20 percent of the façade.</p> <p>Accent materials are recommended and may occupy a maximum of 20 percent of the façade. Accent materials may include:</p> <ul style="list-style-type: none">Wood or engineered wood type material rated for exterior building construction;Exterior insulation and finish system (EIFS) or equivalent product;Reclaimed, distressed or other antiqued material that meets commercial building standards for durability; and/orAny or all of the primary building materials listed above.	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII; 5.2 III</p> <p>Planning Area Objectives: 9.4.1 I, II, III, VI.</p> <p>Code Purpose: 19.2 II, III, VII.</p>



		MINIMUM DEVELOPMENT STANDARD	ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Exterior Building Materials (cont'd)	3.2	Where a multi-level parking structure is provided, the structure shall incorporate the same colors, textures, architectural expressions and exterior building materials as at least one of the adjacent buildings.	
Complementary Façade	4.1	<p>For individual buildings, side and rear façades are required to:</p> <ul style="list-style-type: none"> Meet Development Standards 1.1-1.3 above, unless such facades are not visible from streets, accessways, parks, civic spaces, or other residential buildings; and Be designed with architectural style and building materials that are complementary to its front façade. <p>Note: "Complementary" will be determined using reasonable and customary design standards.</p>	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII; 5.2 III</p> <p>Planning Area Objectives: 9.4.1 I, II, III, VI.</p> <p>Code Purpose: 19.2 II, III, VII.</p>
	4.2	<p>For buildings in a cohesive development, a thematic approach shall be adopted that:</p> <ul style="list-style-type: none"> Ensures the architectural style and building materials used on the front façade, other facades and side walls shall be complementary to those of the other buildings in the development; Incorporates vernacular material techniques across the development; Applies development wide strategies to the building form, shading, and landscaping. <p>Note: "Complementary" will be determined using reasonable and customary design standards.</p>	
Solar Protection	5.1	<p>The incorporation of architectural wall shading to reduce solar heat gain is encouraged, but not required, for large building façades.</p> <p>Where provided on buildings within a cohesive development, the architectural wall shading shall be consistent in design and presentation across all buildings.</p> <p>Note: An application shall not be denied or rejected based on failure to meet this minimum development standard.</p>	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII; 5.2 III</p> <p>Planning Area Objectives: 9.4.1 I, II, III, VI.</p> <p>Code Purpose: 19.2 II, III, VII.</p>
Roof Treatments	6.1	All service structures, elevator/lift motor rooms, satellite dishes and mechanical plants such as HVAC units shall be screened so as not to be visible from street view, accessways, parks or other civic spaces.	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII; 5.2 III</p> <p>Planning Area Objectives: 9.4.1 I, II, III, VI.</p> <p>Code Purpose: 19.2 II, III, VII.</p>



MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Roof Treatments (cont'd)	6.2	<p>Roofs shall have parapets or similar screening to conceal flat roofs, service structures, lift motor rooms, satellite dishes and mechanical plant such as HVAC units so as not to be visible from street view. The minimum height of such parapets or screens shall not be less than 4 ft. in height and such parapets shall not at any point exceed one-third of the height of the supporting wall, unless proven to not be visible from the adjacent street view. Parapets shall be consistent on all building facades and in keeping with the theme of buildings within a cohesive development.</p> <p>Optional design elements include:</p> <ul style="list-style-type: none"> ▪ simple vertical design with coping detail; or ▪ vernacular three-dimensional cornice treatment; or ▪ overhanging eaves, extending no less than 3 ft. past the supporting walls; or ▪ sloping roofs that do not exceed the average height of the supporting walls, with an average slope greater than or equal to 1 ft. of vertical rise for every 3 ft. of horizontal run and less than or equal to 1 ft. of vertical rise for every 1 ft. of horizontal run.
	6.3	Metal roofing, tile and composite roofing are permitted.
	6.4	<p>The following types of roofs shall be prohibited:</p> <ul style="list-style-type: none"> ▪ mansard roofs and canopies without a minimum vertical distance of 8 ft. and at an angle not less than 25 degrees and not greater than 70 degrees; ▪ backlit awnings used as a mansard or canopy roof; and ▪ sloped roofs with asphalt shingle roofing.
Weather Protection Features	7.1	<p>A weather protection feature(s), such as an arcade, awning, canopy, pergola or other shade device, shall be provided above each entrance to a building, and along any building façade that is directly adjacent to an accessway. The weather protection feature(s) shall have the following specifications:</p> <ul style="list-style-type: none"> ▪ Minimum width: Equal to the width of the building entrance or building façade to which it relates, with an additional 18 in. on each side; ▪ Minimum depth: 6 ft outwards from the façade of building; ▪ Minimum clear height: 9 ft. above the pavement. ▪ Weather protection features are encouraged as a means of accentuating key building elements, such as windows. <p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII; 5.2 III Planning Area Objectives: 9.4.1 I, II, III, VI. Code Purpose: 19.2 II, III.</p>



		MINIMUM DEVELOPMENT STANDARD	ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Weather Protection Features (cont'd)	7.2	<p>For weather protection features that extend for the full extent of a building façade, the weather protection feature may be broken into sections, provided:</p> <ul style="list-style-type: none"> ▪ The gap between sections is 15 ft. or less; and ▪ The aggregate uncovered area (including landscaping) shall not exceed 25 percent of the building façade. 	
Entryways	8.1	<p>Building entrances may include doors to individual shops or businesses, lobby entrances, entrances to civic spaces (e.g. squares, Plazas), public common areas or courtyard entrances to a cluster of shops or businesses.</p>	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII; 5.2 III Planning Area Objectives: 9.4.1 I, II, III, VI. Code Purpose: 19.2 II, III, VI, VII.</p>
	8.2	Any front entry shall be set back from the drive aisle a minimum distance of 15 ft.	
	8.3	Landscaping shall be provided that complies with the requirements of Section 31.3.2.	
	8.4	The principle entrance to a building shall be illuminated and comply with the requirements of Section 31.3.6.	
	8.5	<p>Each building (single tenant or multi-tenant) greater than 60,000 sq. ft., shall have an architecturally prominent entrance(s) that is designed to accommodate a shared outdoor area with a minimum area of 200 sq. ft., that includes:</p> <ul style="list-style-type: none"> ▪ benches and other seating components; ▪ integral planters or wing walls that incorporate landscaped areas and/or places for sitting; ▪ structural or vegetated shading; and ▪ accessways between parking areas and buildings <p>Note: “Prominent” will be determined using reasonable and customary design standards.</p>	
Parking Structures	9.1	<p>Where a multi-story parking structure is provided, the structure shall not abut the principal street frontage, unless non-parking uses are integrated into the ground level of the structure. Where there are two or more street frontages, the parking structure may be exposed to the lowest order street, however it shall provide:</p> <ul style="list-style-type: none"> ▪ Landscaping with a minimum 2 ft. depth against the parking structure wall for the entire facade at street level; or ▪ A vegetated wall for a minimum of 50 percent of the vertical height of the parking structure; or ▪ A mural that integrates 50% of the façade area. 	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII; 5.2 III Planning Area Objectives: 9.4.1 I, II, III, VI. Code Purpose: 19.2 II, III, IV.</p>

MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Parking Structures (cont'd)	9.2	No more than 20 percent of the street frontage shall be used for ingress/egress to the parking structure. The parking structure entrance shall be offset a minimum of 15 ft. from the street to allow for a landscape buffer.

Figure 19-2 Horizontal Façade Articulation

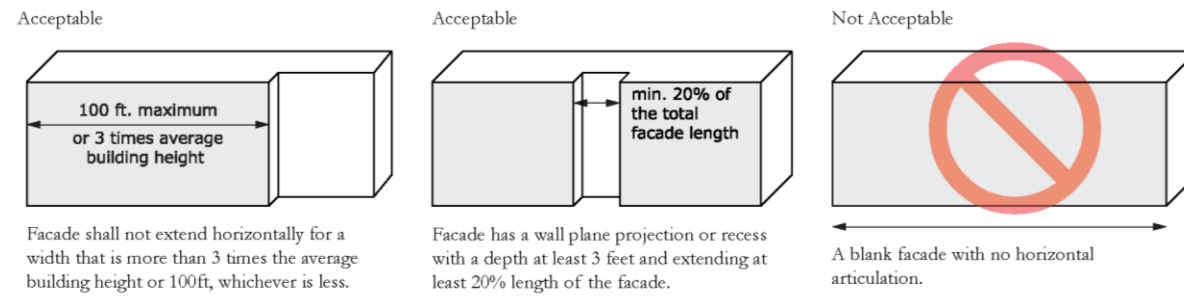


Figure 19-3 Vertical Façade Articulation

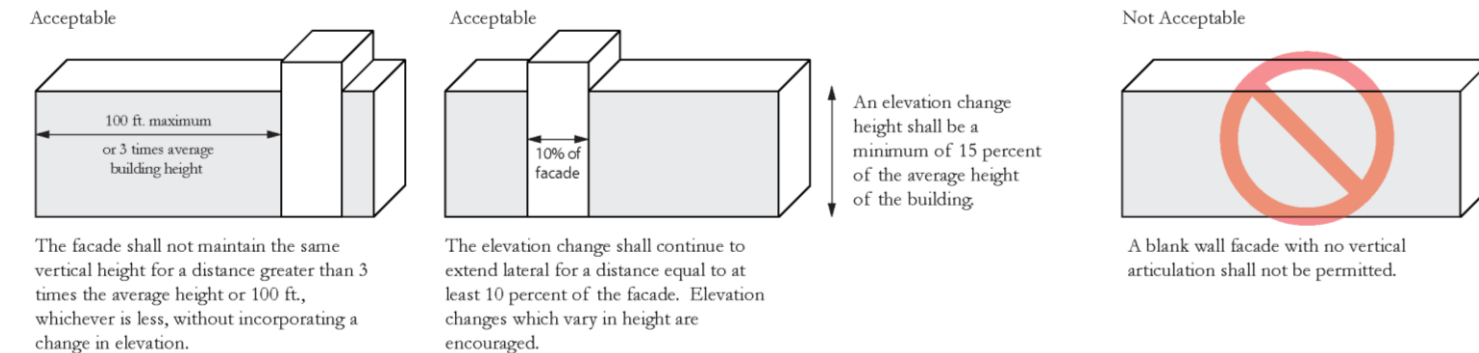


Figure 19-4 Architectural and Structural Bay Building Elements

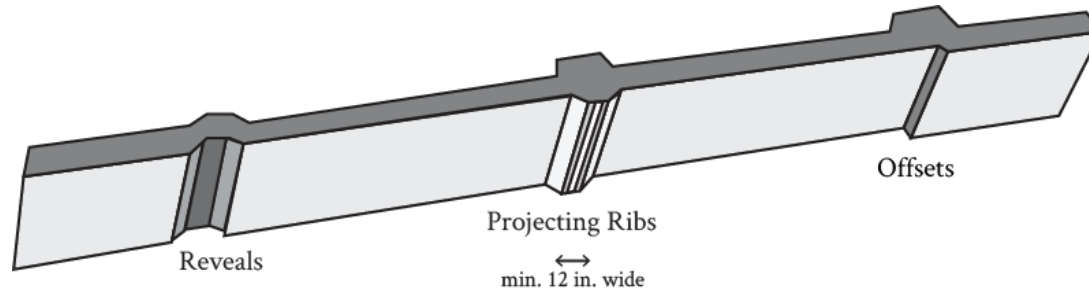
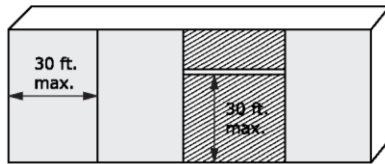


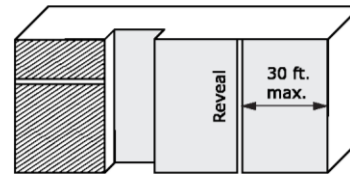
Figure 19-5 Material Articulation

Acceptable



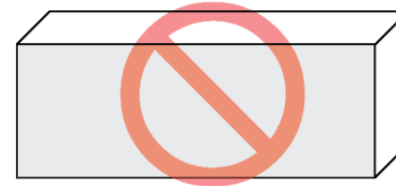
Building facades shall include a min. of one design element (a, b, or c) for a max. dim width of 30 ft. or less repeating either horizontally or vertically.

Acceptable



Relief may occur at any point along the facade having less than 30 ft. max width.

Not Acceptable





20 High Density Residential Planning Area Code

20.1 Applicability

This Code applies in the assessment of all applications within the High Density Residential Planning Area.

20.2 Purpose

The purpose of this Code is to:

- I. Ensure the Guiding Principles and Planning Area Objectives are met.
- II. Ensure residential development, including ancillary structures, is compatible in scale, intensity and appearance with the purpose of the neighborhood.
- III. Ensure residential amenity is maintained in terms of character and identity.
- IV. Ensure that dwellings are oriented towards streets and public parks.

20.3 Development Standards

The relevant application shall comply with the minimum development standards of this Code unless superseded by approved alternative development standards. Where there is a conflict between this Code and other codes, such a conflict is to be resolved in accordance with Figure 2-2.

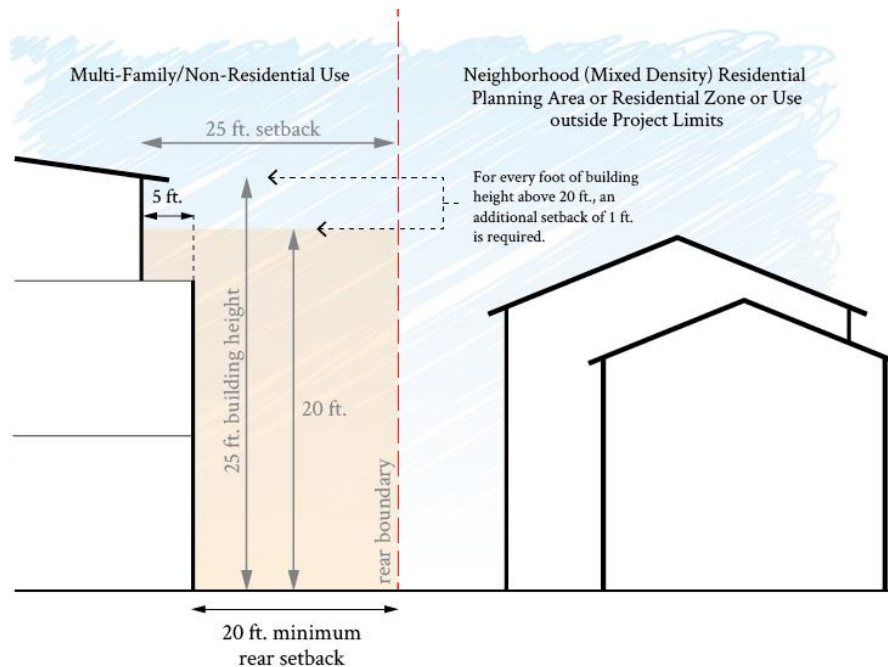


20.3.1 Site Planning

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Maximum Building Height	1.1	45 ft.	Guiding Principle Objectives: 3.2 IV, V; 5.2 III, IV. Planning Area Objectives: 10.1.1 IV. Code Purpose: 20.2 I, II, III.
Minimum Front Setback	2.1	<i>Residential Use:</i> 10 ft. to the façade. ▪ garage: 22 ft. from the rear of the sidewalk. <i>Non-Residential Use:</i> 10 ft.	Guiding Principle Objectives: 3.2 IV, V; 5.2 III, IV. Planning Area Objectives: 10.1.1 I, III, IV. Code Purpose: 20.2 I, II, III.
Minimum Side Setback	3.1	<i>Residential Use:</i> 5 ft. <i>Non-Residential Use:</i> ▪ where adjoining a residential use: 20 ft. ▪ where adjoining a non-residential use: 5 ft. <i>Cohesive Development consisting of one or more of Non-Residential, Mixed Use, or Multi-Family Dwelling Uses:</i> 0 ft.	Guiding Principle Objectives: 3.2 IV, V; 5.2 III, IV. Planning Area Objectives: 10.1.1 I, III, IV. Code Purpose: 20.2 I, II, III.
Minimum Corner lot setback (street-side)	4.1	<i>Residential Use:</i> 10 ft. to the façade. ▪ garage: 22 ft. from the rear of the Sidewalk. <i>Non-Residential Use:</i> 10 ft.	Guiding Principle Objectives: 3.2 IV, V; 5.2 III, IV. Planning Area Objectives: 10.1.1 I, III, IV. Code Purpose: 20.2 I, II, III.
Minimum Rear Setback	5.1	<i>Residential Use:</i> 20 ft. or 5 ft. where access is provided via an alley. <i>Non-Residential Use:</i> 5 ft. <i>Cohesive Development consisting of one or more of Non-Residential, Mixed Use, or Multi-Family Dwelling Uses:</i> 0 ft.	Guiding Principle Objectives: 3.2 IV, V; 5.2 III, IV. Planning Area Objectives: 10.1.1 I, III, IV. Code Purpose: 20.2 I, II, III.
Minimum Setback from Adjoining Residential Uses	6.1	<i>Multi-Family Dwelling & Non-Residential Uses only:</i> Where adjoining the Neighborhood (Mixed Density) Residential Planning Area or a residential zone or use outside the project limits, side setbacks are a minimum of 20 ft. Any portion of a building that exceeds 20 ft. in height shall be setback an additional 1 ft. for every foot of the building over 20 ft. – refer to Figure 20-1. The minimum residential setback only applies to that lot line that directly adjoins a Neighborhood (Mixed Density) Residential Planning Area, or residential zone or use outside the project limits. Where a non-residential use or multi-family use abuts another multi-family use, this standard is not applicable	Guiding Principle Objectives: 3.2 IV, V; 5.2 III, IV. Planning Area Objectives: 10.1.1 I, III, IV. Code Purpose: 20.2 I, II, III.

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Setback Encroachment	7.1	<p><i>All Uses:</i></p> <ul style="list-style-type: none"> Eaves and gutters may overhang setback lines by no more than 18 in. <p><i>Residential Uses (excluding Multi-Family Dwelling):</i></p> <ul style="list-style-type: none"> Pools, sheds, pergolas and other accessory structures: minimum 5 ft. 	<p>Guiding Principle Objectives: 3.2 IV, V; 5.2 III, IV.</p> <p>Planning Area Objectives: 10.1.1 I, III, IV.</p> <p>Code Purpose: 20.2 I, II, III.</p>
Building Orientation	8.1	<p>Each building shall have a pedestrian entrance to the highest-order adjoining roadway. Entrances at building corners may be used to satisfy this requirement.</p> <p>Where a building also fronts an additional street, internal pedestrian accessway, park or civic space with a pedestrian frontage, a second entrance shall address and open directly onto the street, accessway, park or civic space.</p>	<p>Guiding Principle Objectives: 3.2 IV, V; 5.2 III, IV; 7.2 I.</p> <p>Planning Area Objectives: 10.1.1 I, III, IV.</p> <p>Code Purpose: 20.2 I, IV.</p>
	8.2	The principle entrance to a building shall be illuminated.	

Figure 20-1 High Density Residential Planning Area Residential Side & Rear Setbacks





20.3.2 Detailed Building Design – Non-Residential & Multi-Family Uses only

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Façade Articulation	1.1	<p>A façade shall not extend horizontally for a distance greater than three times the average height or 100 ft., whichever is less, without incorporating a wall plane projection or recess with a minimum depth of 3 ft. and extending at least 20 percent of the length of the façade – refer to Figure 20-2.</p> <p>Note:</p> <p>Offsets may be of varying depth provided the minimum standard is satisfied.</p> <p>The purpose of this standard, the length of the façade shall be considered the total distance of the building line.</p>	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III.</p> <p>Planning Area Objectives: 10.1.1 III, IV, V.</p> <p>Code Purpose: 20.2 I, II, III.</p>
	1.2	<p>A façade shall not extend vertically for a distance greater than three times the average height or 100 ft., whichever is less, without incorporating a change in elevation.</p> <p>An elevation change shall be a minimum of 15 percent of the average height of the building and the elevation change shall continue to extend laterally for a distance equal to 10 to 70 percent of the entire façade – refer to Figure 20-3.</p> <p>Note:</p> <p>Elevation changes may be of varying heights provided the minimum standard is satisfied.</p> <p>Vertical articulation should accompany entrances, key focal points or other unique attributes of the façade.</p> <p>For the purpose of this standard, the length of the façade shall be considered the total distance of the building façade.</p>	
Building Elements	2.1	<p>At least one of elements a, b or c shall repeat horizontally. All elements shall repeat at intervals of no more than 30 ft., either horizontally or vertically.</p> <p>Building façades must include a repeating pattern that includes no less than three of the following elements:</p> <ul style="list-style-type: none">a. color change;b. texture change;c. material module change; and/ord. an expression of architectural or structural bays through a change in plane no less than 12 in. in width, such as an offset, reveal or projecting rib – refer to Figure 20-4. <p>At least one of elements a, b or c shall repeat horizontally. All elements shall repeat at intervals of no more than 30 ft., either horizontally or vertically.</p>	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III.</p> <p>Planning Area Objectives: 10.1.1 III, IV, V.</p> <p>Code Purpose: 20.2 I, II, III.</p>



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Exterior Materials	3.1	<p>At least 80 percent of the vertical walls of all buildings (excluding doors and windows) to which these standards apply, shall be finished in a minimum of one of the following materials:</p> <ul style="list-style-type: none"> brick, stone, cast stone, rock, marble, granite, glass block, tile; stucco or plaster; glass with less than 20 percent reflectance (however, no more than 50 percent of the entire building façade shall be glass); split face concrete block, poured-in-place concrete and tilt wall concrete. Any use of concrete products shall have an integrated color and be textured or patterned. Tilt-up wall concrete structures shall include reveals, punch outs or other similar surface characteristics to enhance the façade on a least 10 percent of each façade; and/or cellulose fiber-reinforced cement building product (e.g. Hardie® Board products or other cement building products) approved by a nationally recognized building products evaluation service, where the seams are not exposed. 	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III.</p> <p>Planning Area Objectives: 10.1.1 III, IV, V.</p> <p>Code Purpose: 20.2 I, II, III.</p>
	3.2	Where a multi-level parking structure is provided, the structure shall incorporate the same colors, textures, architectural expressions and exterior building materials as at least one of the adjacent buildings.	
	3.3	Stucco shall not cover more than 20 percent of the hard vertical surface area of a parking structure.	
Consistent Façade Standard	4.1	<p>All façades or sides of a building shall be designed with architectural style and building materials consistent with the front façade.</p> <p>Side and rear façades are required to meet Development Standards 1.1 & 1.2 above unless such facades are not visible from streets, accessways, parks, civic spaces, or other residential buildings.</p> <p>Note:</p> <p>“Consistent” will be determined using reasonable and customary design standards.</p>	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III.</p> <p>Planning Area Objectives: 10.1.1 III, IV, V.</p> <p>Code Purpose: 20.2 I, II, III.</p>
Solar Protection	5.1	<p>The incorporation of architectural wall shading to reduce solar heat gain is encouraged, but not required, for large building façades.</p> <p>Note:</p> <p>An application shall not be denied or rejected based on failure to meet this Minimum Development Standard.</p>	<p>Guiding Principle Objectives: 3.2 III, IV, V, VI; 4.2 I, II, XII, 5.2 III, IV.</p> <p>Planning Area Objectives: 10.1.1 III, IV, V, IX.</p> <p>Code Purpose: 20.2 I, III.</p>
Roof Treatments	6.1	All service structures, lift motor rooms, satellite dishes and mechanical plants such as HVAC units shall be screened so as not to be visible from street view, accessways, parks or other civic spaces.	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III.</p> <p>Planning Area Objectives: 10.1.1 III, IV, V.</p> <p>Code Purpose: 20.2 I, II, III.</p>



MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Roof Treatments (cont'd)	<p>6.2 Roofs shall have either:</p> <ul style="list-style-type: none">▪ parapets or similar screening to conceal flat roofs, service structures, lift motor rooms, satellite dishes and mechanical plant such as HVAC units so as not to be visible from Street View. The average height of such parapets or screens shall not exceed 15 percent of the height of the supporting wall and such parapets shall not at any point exceed $\frac{1}{4}$ of the height of the supporting wall. Such parapets shall feature three-dimensional cornice treatment; or▪ a minimum of two of the following features:<ul style="list-style-type: none">» overhanging eaves, extending no less than 3 ft. past the supporting walls;» sloping roofs that do not exceed the average height of the supporting walls, with an average slope greater than or equal to 1 ft. of vertical rise for every 3 ft. of horizontal run and less than or equal to 1 ft. of vertical rise for every 1 ft. of horizontal run; and/or» three or more roof slope planes. <p>6.3 Any roof using shingles shall use dimensional shingles (shingles that have a shadow at the top exposure to give added depth and definition)</p>	
Roof Types	<p>7.1 The following types of roofs shall be prohibited:</p> <ul style="list-style-type: none">▪ mansard roofs and canopies without a minimum vertical distance of 8 ft. and at an angle not less than 25 degrees and not greater than 70 degrees; and▪ backlit awnings used as a mansard or canopy roof.	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III.</p> <p>Planning Area Objectives: 10.1.1 III, IV, V.</p> <p>Code Purpose: 20.2 I, II, III.</p>
Entryways	<p>8.1 Each building greater than 60,000 sq. ft., shall have an architecturally prominent and clearly visible entrance that incorporates a civic space within a minimum area of 200 sq. ft., that includes:</p> <ul style="list-style-type: none">▪ benches and other seating components;▪ integral planters or wing walls that incorporate landscaped areas and/or places for sitting;▪ structural or vegetated shading; and▪ accessways between parking areas and building entrances. <p>Any front entry shall be set back from the drive aisle a minimum distance of 15 ft.</p> <p>Note:</p> <p>“Prominent” will be determined using reasonable and customary design standards.</p>	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, III, XII, 5.2 III.</p> <p>Planning Area Objectives: 10.1.1 III, IV, V.</p> <p>Code Purpose: 20.2 I, II, III.</p>

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Parking Structures	9.1	Where a multi-story parking structure is provided, the structure shall not abut the principal street frontage, unless non-parking uses are integrated into the ground level of the structure. Where there are two or more street frontages, the parking structure may be exposed to the lowest order street.	Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III. Planning Area Objectives: 10.1.1 III, IV, V. Code Purpose: 20.2 I, II, III.
	9.2	No more than 20 percent of the street frontage shall be used for ingress/egress to the parking structure.	

Figure 20-2 Horizontal Façade Articulation

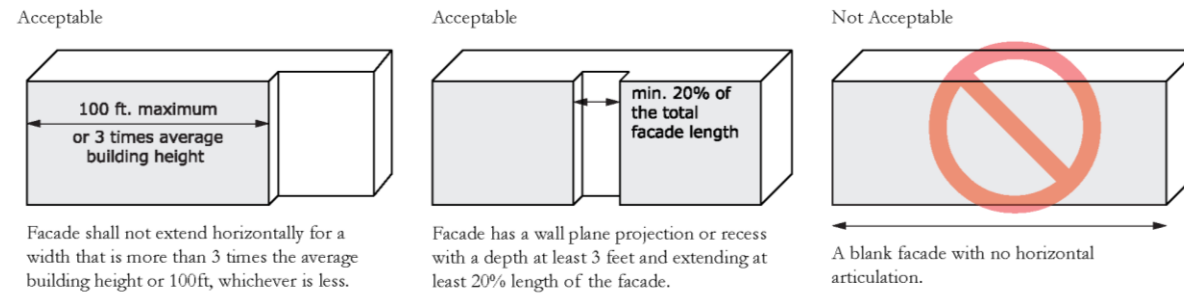


Figure 20-3 Vertical Façade Articulation

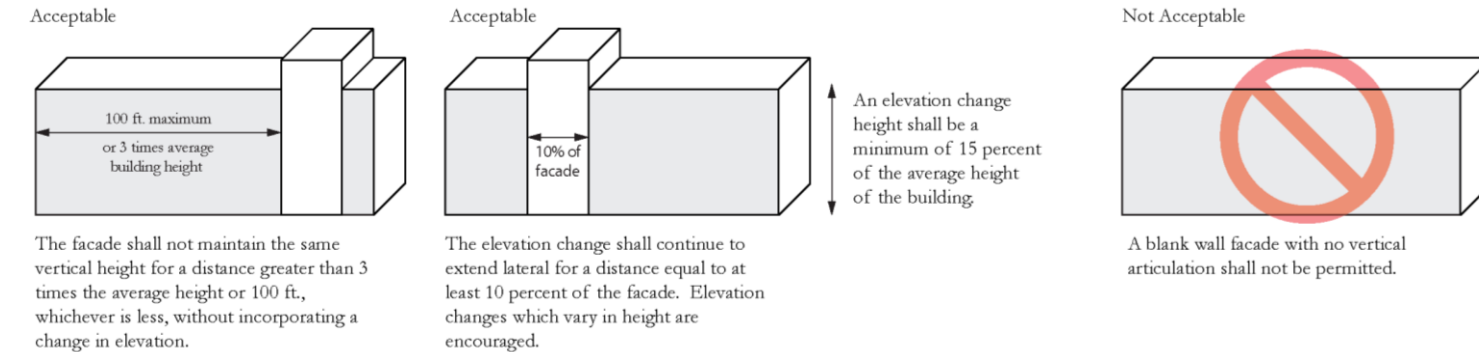
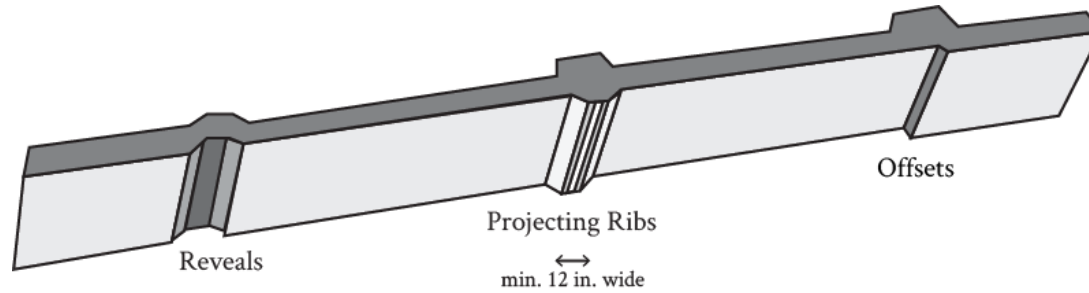


Figure 20-4 Architectural and Structural Bay Building Elements



20.3.3 Detailed Building Design – Residential Uses (excluding Multi-Family Uses) only

		MINIMUM DEVELOPMENT STANDARD	ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Exterior Building Material	1.1	<p>At least 80 percent of the vertical walls of all buildings (excluding doors and windows) to which these standards apply, shall be finished with masonry.</p> <p>No more than 20 percent of the vertical walls of all buildings (excluding doors and windows) to which these standards apply, shall be finished with wood.</p>	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III.</p> <p>Planning Area Objectives: 10.1.1 III, IV, V.</p> <p>Code Purpose: 20.2 I, II, III.</p>



21 Neighborhood (Mixed Density) Residential Planning Area Code

21.1 Applicability

This Code applies in the assessment of all applications within the Neighborhood (Mixed Density) Residential Planning Area.

21.2 Purpose

The purpose of this Code is to:

- I. Ensure the Guiding Principles and Planning Area Objectives are met.
- II. Ensure residential development, including ancillary structures, is compatible in scale, intensity and appearance with the purpose of the neighborhood.
- III. Ensure residential amenity is maintained in terms of character and identity.
- IV. Ensure that dwellings are oriented towards streets and public parks.

21.3 Development Standards

The applicable application shall comply with the minimum development standards of this Code unless superseded by approved alternative development standards. Where there is a conflict between this Code and other codes, such a conflict is to be resolved in accordance with Figure 2-2.



21.3.1 Site Planning

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Maximum Building Height	1.1	35 ft.	Guiding Principle Objectives: 3.2 IV, V; 5.2 III, IV. Planning Area Objectives: 10.2.1 III, VII. Code Purpose: 21.2 I, II, III.
Maximum Building Height where abutting the Oak Run Lot Line	1.1A	One story, unless setback from the Oak Run Lot Line a minimum of 150 ft. at which point the maximum height may be 35 ft.	Guiding Principle Objectives: 3.2 IV, V; 5.2 III, IV. Planning Area Objectives: 10.2.1 III, VII. Code Purpose: 21.2 I, II, III.
Minimum Front Setback	2.1	<ul style="list-style-type: none"> <i>Residential Use:</i> 10 ft. to the façade. garage: 22 ft. from the rear of the sidewalk. <i>Non-Residential Use:</i> 10 ft.	Guiding Principle Objectives: 3.2 IV, V; 5.2 III, IV. Planning Area Objectives: 10.2.1 III, VII. Code Purpose: 21.2 I, II, III.
Minimum Side Setback	3.1	<i>Residential Use:</i> 5 ft. <i>Non-Residential Use:</i> <ul style="list-style-type: none"> where adjoining a residential use: 20ft. where adjoining a non-residential use: 5 ft. 	Guiding Principle Objectives: 3.2 IV, V; 5.2 III, IV. Planning Area Objectives: 10.2.1 III, VII. Code Purpose: 21.2 I, II, III.
Minimum Corner Lot Setback (street side)	4.1	<ul style="list-style-type: none"> Residential Use: 10 ft. garage: 22 ft. from the rear of the Sidewalk. <i>Non-Residential Use:</i> 10 ft.	Guiding Principle Objectives: 3.2 IV, V; 5.2 III, IV. Planning Area Objectives: 10.2.1 III, VII. Code Purpose: 21.2 I, II, III.
Minimum Rear Setback	5.1	<i>Residential Use:</i> 15 ft. or 5 ft. where access is provided via an alley. <i>Accessory Structures:</i> 5 ft. Note: See Development Standard 7.1 below for allowable setback encroachments.	Guiding Principle Objectives: 3.2 IV, V; 5.2 III, IV. Planning Area Objectives: 10.2.1 III, VII. Code Purpose: 21.2 I, II, III.
Minimum Setback from Neighboring Residential Uses	6.1	<i>Multi-Family Dwelling & Non-Residential Uses only:</i> Where adjoining the Neighborhood (Mixed Density) Residential Planning Area or a residential zone or use outside the project limits, side and rear setbacks are a minimum of 15 ft. Any portion of a building that exceeds 20 ft. in height shall be setback an additional 1 ft. for every foot of the building over 20 ft. – refer to Figure 21-1. The minimum residential setback only applies to that lot line that directly adjoins a Neighborhood (Mixed Density) Residential Planning Area, or residential zone or use outside the project limits. <i>Non-Residential Use where adjoining a Non-Residential Use:</i> 5 ft.	Guiding Principle Objectives: 3.2 IV, V; 5.2 III, IV. Planning Area Objectives: 10.2.1 III, VII. Code Purpose: 21.2 I, II, III.



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Setback Encroachment	7.1	<p><i>All Uses:</i></p> <ul style="list-style-type: none"> Eaves and gutters may overhang setback lines by no more than 18 in. <p><i>Residential Uses (excluding Multi-Family Dwelling):</i></p> <ul style="list-style-type: none"> Per Figure 21-2, except where abutting the Oak Run Lot Line, an Attached Patio may encroach into the rear setback up to a maximum of 5 ft, with the following limitations: <ul style="list-style-type: none"> the width of the Attached Patio within the Encroachment Area does not exceed $\frac{2}{3}$ (67 percent) of the maximum width of the widest part of the single family dwelling; the Attached Patio shall remain unenclosed within the Encroachment Area, except for any safety railing which shall be a minimum of 50 percent visually permeable; and no second story access is allowed onto the Attached Patio within the Encroachment Area. Pools, sheds, pergolas and other accessory structures: minimum 5 ft. 	<p>Guiding Principle Objectives: 3.2 IV, V; 5.2 III, IV.</p> <p>Planning Area Objectives: 10.2.1 III, VII.</p> <p>Code Purpose: 21.2 I, II, III.</p>
Building Orientation	8.1	<p><i>Non-Residential and Multi-Family Uses only:</i></p> <p>Each building shall have a pedestrian building entrance to the highest-order adjoining roadway. Entrances at building corners may be used to satisfy this requirement.</p> <p>Where a building also fronts an additional street, internal pedestrian accessway, park or civic space with a pedestrian frontage, a second entrance shall address and open directly onto the street, accessway, park or civic space.</p> <p>Building entrances may include doors to individual shops or businesses, lobby entrances, entrances to civic spaces (e.g. squares, Plazas), or courtyard entrances to a cluster of shops or businesses.</p>	<p>Guiding Principle Objectives: 3.2 IV, V; 5.2 III, IV; 7.2 I.</p> <p>Planning Area Objectives: 10.2.1 III, VII, IX.</p> <p>Code Purpose: 21.2 I, IV.</p>
	8.2	The principal entrance to a building shall be illuminated.	
	8.3	<p><i>Residential Uses (excluding Multi-Family) only:</i></p> <p>Dwelling units shall have a front door that is at least partially visible at Street View or at eye-level from an internal drive.</p>	
	8.4	The principal entrance to a dwelling unit shall be illuminated.	

Figure 21-1 Neighborhood (Mixed Density) Residential Planning Area Residential Side & Rear Setbacks

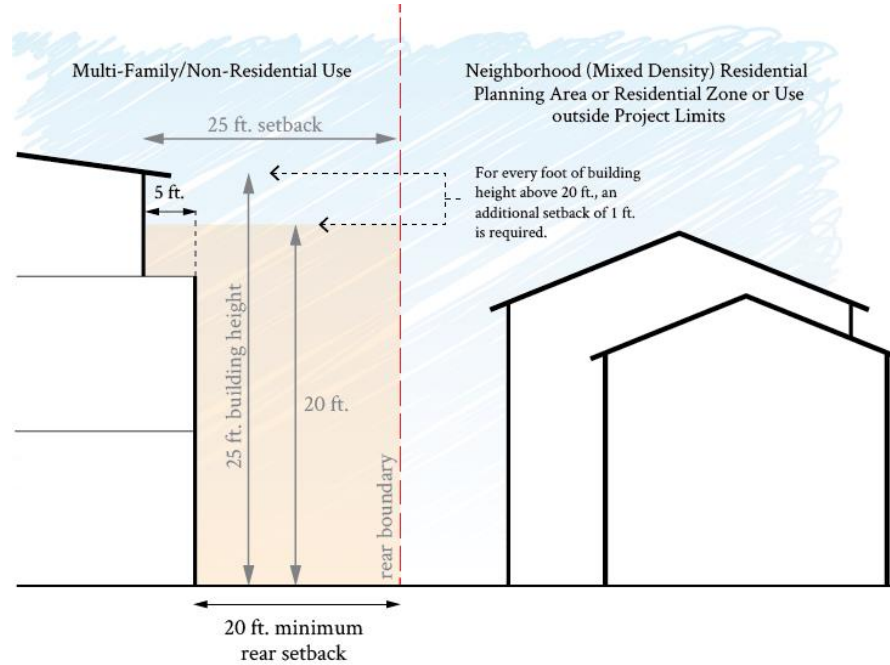
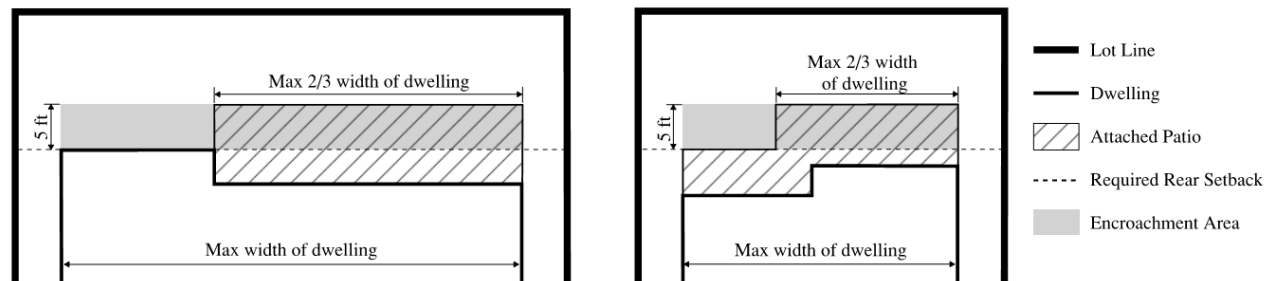


Figure 21-2 Allowable Rear Setback Encroachment for Attached Patios



Attached Patios may encroach into the required rear setback a maximum of 5 feet, provided the width of the Attached Patio within the Encroachment Area does not exceed two-thirds the maximum width of the single family dwelling. Portions of an Attached Patio located outside the Encroachment Area are not subject to the two-thirds maximum width restriction.



21.3.2 Detailed Building Design – Non-Residential & Multi-Family Uses only

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Façade Articulation	1.1	<p>A façade shall not extend horizontally for a distance greater than three times the average height or 100 ft., whichever is less, without incorporating a wall plane projection or recess with a minimum depth of 3 ft. and extending at least 20 percent of the length of the façade – refer to Figure 21-3.</p> <p>Note:</p> <p>Offsets may be of varying depth provided the minimum standard is satisfied.</p> <p>The purpose of this standard, the length of the façade shall be considered the total distance of the building line.</p>	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III.</p> <p>Planning Area Objectives: 10.2.1 VII.</p> <p>Code Purpose: 21.2 I, II, III.</p>
	1.2	<p>A façade shall not extend vertically for a distance greater than three times the average height or 100 ft., whichever is less, without incorporating a change in elevation.</p> <p>An elevation change shall be a minimum of 15 percent of the average height of the building and the elevation change shall continue to extend laterally for a distance equal to 10 to 70 percent of the entire façade – refer to Figure 21-4.</p> <p>Note:</p> <p>Elevation changes may be of varying heights provided the minimum standard is satisfied.</p> <p>Vertical articulation should accompany entrances, key focal points or other unique attributes of the façade.</p> <p>For the purpose of this standard, the length of the façade shall be considered the total distance of the building façade.</p>	
Building Elements	2.1	<p>Building façades must include a repeating pattern that includes no less than three of the following elements:</p> <ul style="list-style-type: none">a. color change;b. texture change;c. material module change; and/or <p>an expression of architectural or structural bays through a change in plane no less than 12 in. in width, such as an offset, reveal or projecting rib – refer to Figure 21-5.</p> <p>At least one of elements a, b or c shall repeat horizontally. All elements shall repeat at intervals of no more than 30 ft., either horizontally or vertically.</p>	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III.</p> <p>Planning Area Objectives: 10.2.1 VII.</p> <p>Code Purpose: 21.2 I, II, III.</p>



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Exterior Materials	3.1	<p>At least 80 percent of the vertical walls of all buildings (excluding doors and windows) to which these standards apply, shall be finished in a minimum of one of the following materials:</p> <ul style="list-style-type: none"> brick, stone, cast stone, rock, marble, granite, glass block, tile; stucco or plaster; glass with less than 20 percent reflectance (however, no more than 50 percent of the entire building façade shall be glass); split face concrete block, poured-in-place concrete and tilt wall concrete. Any use of concrete products shall have an integrated color and be textured or patterned. Tilt-up wall concrete structures shall include reveals, punch outs or other similar surface characteristics to enhance the façade on a least 10 percent of each façade; and/or cellulose fiber-reinforced cement building product (e.g. Hardie® Board products or other cement building products) approved by a nationally recognized building products evaluation service, where the seams are not exposed. 	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III.</p> <p>Planning Area Objectives: 10.2.1 VII.</p> <p>Code Purpose: 21.2 I, II, III.</p>
Consistent Façade	4.1	<p>All façades or sides of a building shall be designed with architectural style and building materials consistent with the front façade.</p> <p>Side and rear façades are required to meet Development Standards 1.1 & 1.2 above unless such facades are not visible from streets, accessways, parks, civic spaces, or other residential buildings.</p> <p>Note:</p> <p>“Consistent” will be determined using reasonable and customary design standards.</p>	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III.</p> <p>Planning Area Objectives: 10.2.1 VII.</p> <p>Code Purpose: 21.2 I, II, III.</p>
Solar Protection	5.1	<p>The incorporation of architectural wall shading to reduce solar heat gain is encouraged, but not required, for large building façades.’</p> <p>Note:</p> <p>An application shall not be denied or rejected based on failure to meet this Minimum Development Standard.</p>	<p>Guiding Principle Objectives: 3.2 III, IV, V, VI; 4.2 I, II, XII, 5.2 III, IV.</p> <p>Planning Area Objectives: 10.2.1 VII.</p> <p>Code Purpose: 21.2 I, III.</p>
Roof Treatments	6.1	<p>All service structures, lift motor rooms, satellite dishes and mechanical plants such as HVAC units shall be screened so as not to be visible from Street View, accessways, parks or other civic spaces.</p>	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III.</p> <p>Planning Area Objectives: 10.2.1 VII.</p> <p>Code Purpose: 21.2 I, II, III.</p>



MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Roof Treatments (cont'd)	<p>6.2</p> <p>Roofs shall have either:</p> <ul style="list-style-type: none">▪ parapets or similar screening to conceal flat roofs, service structures, lift motor rooms, satellite dishes and mechanical plant such as HVAC units so as not to be visible from street view. The average height of such parapets or screens shall not exceed 15 percent of the height of the supporting wall and such parapets shall not at any point exceed one-third (⅓) of the height of the supporting wall. Such parapets shall feature three-dimensional cornice treatment; or▪ a minimum of two of the following features:<ul style="list-style-type: none">» overhanging eaves, extending no less than 3 ft. past the supporting walls;» sloping roofs that do not exceed the average height of the supporting walls, with an average slope greater than or equal to 1 ft. of vertical rise for every 3 ft. of horizontal run and less than or equal to 1 ft. of vertical rise for every 1 ft. of horizontal run; and/or» three or more roof slope planes. <p>6.3</p> <p>Any roof using shingles shall use dimensional shingles (shingles that have a shadow at the top exposure to give added depth / definition).</p>	
Roof Types	<p>7.1</p> <p>The following types of roofs shall be prohibited:</p> <ul style="list-style-type: none">▪ mansard roofs and canopies without a minimum vertical distance of 8 ft. and at an angle not less than 25 degrees and not greater than 70 degrees; and▪ backlit awnings used as a mansard or canopy roof.	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III.</p> <p>Planning Area Objectives: 10.2.1 VII.</p> <p>Code Purpose: 21.2 I, II, III.</p>
Entryways	<p>8.1</p> <p>Each building greater than 60,000 sq. ft., shall have an architecturally prominent and clearly visible entrance that incorporates a civic space within a minimum area of 200 sq. ft., that includes:</p> <ul style="list-style-type: none">▪ benches and other seating components;▪ integral planters or wing walls that incorporate landscaped areas and/or places for sitting;▪ structural or vegetated shading; and▪ accessways between parking areas and building entrances. <p>Any front entry shall be set back from the drive aisle a minimum distance of 15 ft.</p> <p>Note:</p> <p>“Prominent” will be determined using reasonable and customary design standards.</p>	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, III, XII, 5.2 III.</p> <p>Planning Area Objectives: 10.2.1 VII.</p> <p>Code Purpose: 21.2 I, II, III.</p>

Figure 21-3 Horizontal Façade Articulation

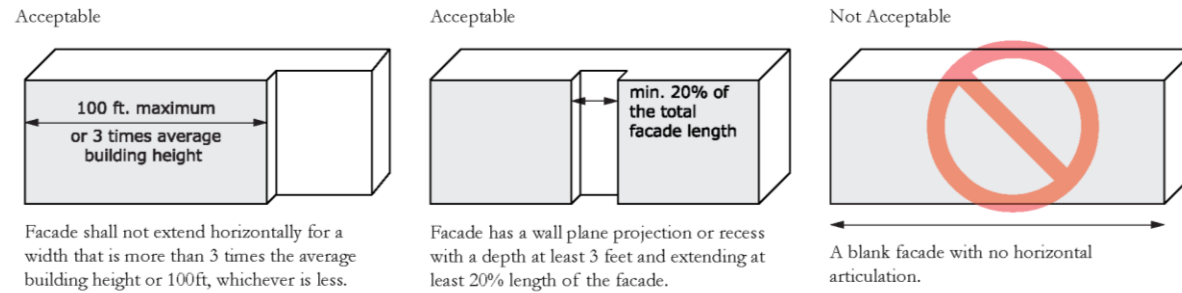


Figure 21-4 Vertical Façade Articulation

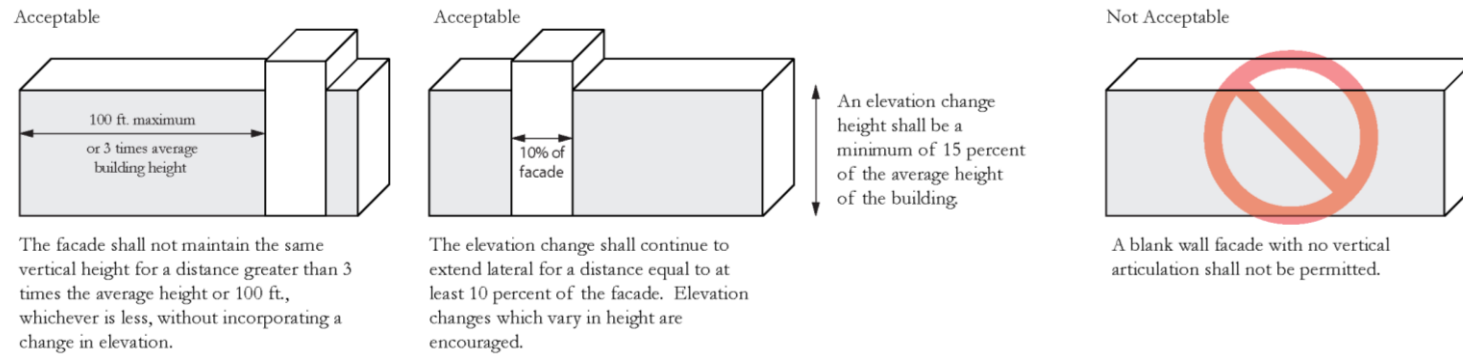
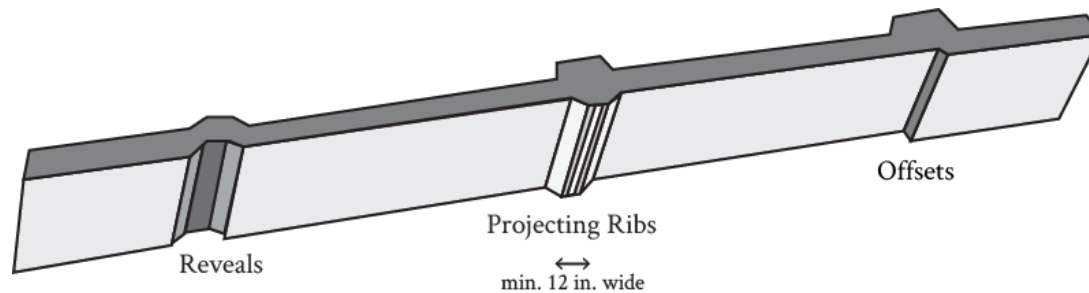


Figure 21-5 Architectural and Structural Bay Building Elements





21.3.3 Detailed Building Design – Residential Uses (excluding Multi-Family Uses) only

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Exterior Building Material	1.1	<p>At least 80 percent of the vertical walls of all buildings (excluding doors and windows) to which these standards apply, shall be finished with masonry.</p> <p>Wood on the vertical walls of all buildings to which these standards apply shall not occupy more than 20 percent of the façade. This standard does not apply to doors and windows.</p>	<p>Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III.</p> <p>Planning Area Objectives: 10.2.1 VII.</p> <p>Code Purpose: 21.2 I, II, III.</p>

22 Park Planning Area Code

22.1 Applicability

This Code applies in the assessment of all applications within the Park Planning Area.

22.2 Purpose

The purpose of this Code is to:

- I. Ensure the Guiding Principles and Planning Area Objectives are met.
- II. Ensure that provision is made for sufficient parks to:
 - meet the needs of the project and to ensure that the environmental and scenic values of the area are protected;
 - provide a diversity of settings and recreational opportunities;
 - contribute to the legibility and character of the project;
 - support riparian corridors and significant vegetation and habitat areas, and provide linkages between those areas; and
 - provide connectivity, both internal and external to the project.
- III. Ensure non-park uses are compatible in scale, intensity and appearance with the purpose of the Park Planning Area.

22.3 Development Standards

The applicable application shall comply with the minimum development standards of this Code unless superseded by approved alternative development standards. Where there is a conflict between this Code and other codes, such a conflict is to be resolved in accordance with Figure 2-2.

The Continued Outstanding Development Standards for non-park uses as identified in Appendix 6, Section 6.2 are to be approved by the City Council at the point of the first Sector Plan that includes all or part of the Park Planning Area and proposed non-park use.

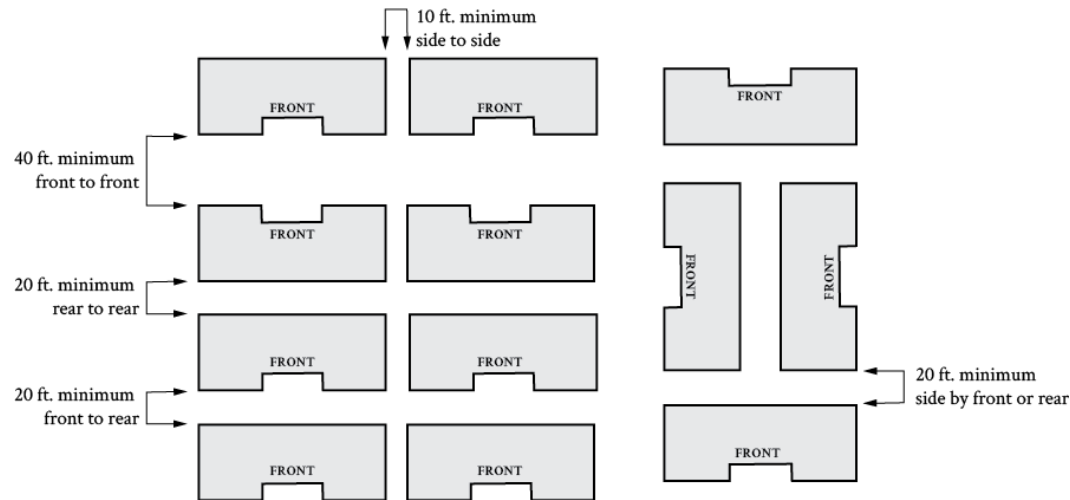
22.3.1 Park Use

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
General	1.1	Park uses shall comply with the Park Use Code – refer to Section 26.	Guiding Principle Objectives: 3.2 V, VI, VII; 4.2. III, IV; 5.2 VI, VII; 8.2 IV. Planning Area Objectives: 11.1.1 I, II, III, IV, V. Code Purpose: 22.2 I, II.

22.3.2 Non-Park Use – Site Planning

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Building Siting/Building Envelope	1.1	<p>Non-park use buildings sited on a single park lot shall be setback a minimum of:</p> <ul style="list-style-type: none"> 10 ft. between buildings sited side by side; 20 ft. between buildings sited side by front or rear; 40 ft. between buildings sited front to front; 20 ft. between buildings sited rear to rear; and 20 ft. between buildings sited front to rear. <p>Refer to Figure 22-1.</p>	Guiding Principle Objectives: 3.2 V, VI, VII; 4.2. III, IV; 5.2 VI, VII; 8.2 IV. Planning Area Objectives: 11.1.1 I, II, III, IV, V. Code Purpose: 22.2 I, II, III.

Figure 22-1 Setbacks between Buildings





22.3.3 Non-Park Use – Pedestrian Places and Movement

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Pedestrian Connectivity	1.1	An accessway shall be provided between each non-park use and the internal accessways within a park (sidewalk or parking lot).	Guiding Principle Objectives: 3.2 V, VI, VII; 4.2. III, IV; 5.2 VI, VII; 8.2 IV. Planning Area Objectives: 11.1.1 I, II, III, IV, V.
	1.2	An additional accessway shall be provided between a non-park use or a group of non-park uses and a sidewalk/tail located outside or on the perimeter of the park.	Code Purpose: 22.2 I, II, III.



PART G

LAND USE CODES

23 Single-Family Detached Dwelling Use Code

23.1 Applicability

The code applies in the assessment of all applications for a single-family detached dwelling use within the project.

23.2 Purpose

The purpose of this Code is to:

- I. Ensure the Guiding Principles and Planning Area Objectives, are met.
- II. Ensure residential development, including ancillary structures, is compatible in scale, intensity and appearance with the purpose of the neighborhood.
- III. Ensure residential amenity is maintained.
- IV. Ensure that dwellings are oriented towards streets and public parks.
- V. Ensure the provision of sufficient private open space for resident's needs.

23.3 Development Standards

The applicable application shall comply with the minimum development standards of this Code unless superseded by approved alternative development standards. Where there is a conflict between this Code and other codes, such a conflict is to be resolved in accordance with Figure 2-2.



23.3.1 Site Planning – applicable to Single-Family Dwelling (Cluster) Uses only

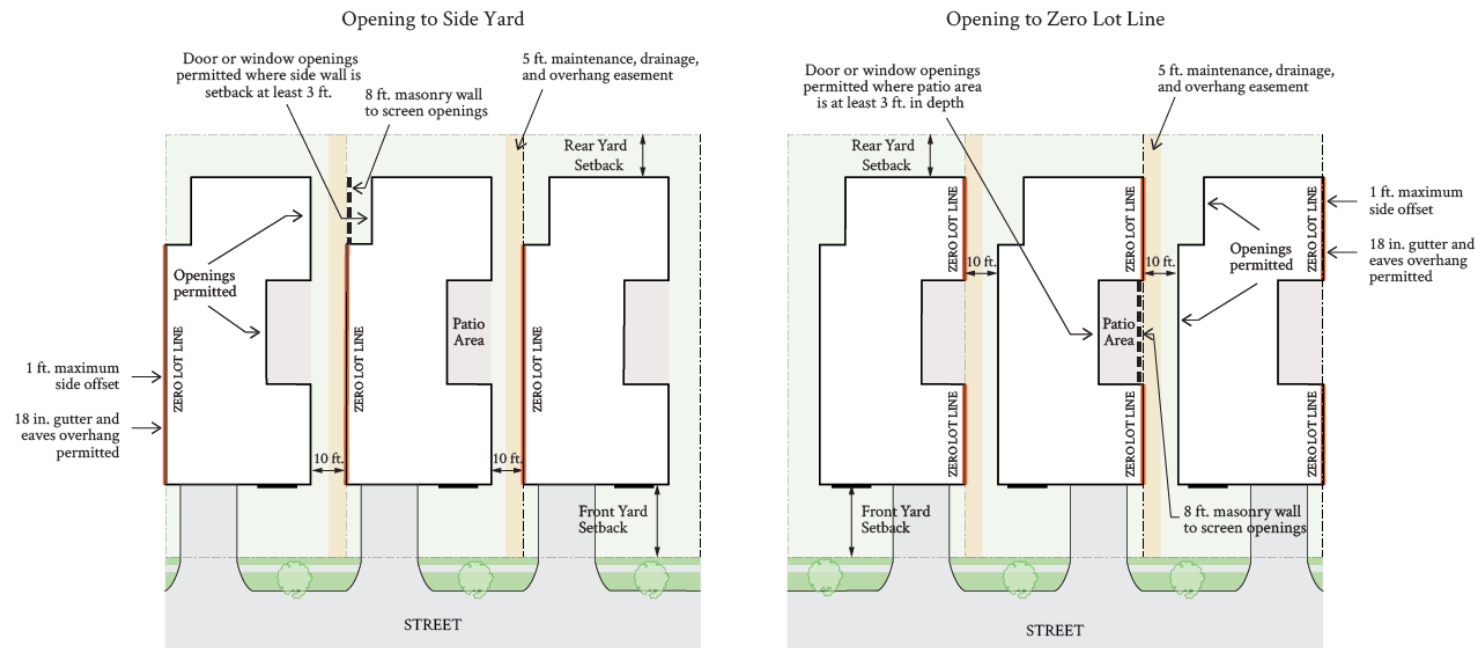
MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Minimum Front Setback (Parent Lot)	1.1	In accordance with the front setback minimum development standard set forth in the applicable planning area code.	Guiding Principle Objectives: 3.2 IV, V; 5.2 III, IV. Code Purpose: 23.2 I, II, III.
Minimum Front Setback (Cluster Lot)	2.1	5 ft. from internal drive.	Guiding Principle Objectives: 3.2 IV, V; 5.2 III, IV. Code Purpose: 23.2 I, II, III.
Minimum Side Setback (Cluster Lot)	3.1	5 ft.	Guiding Principle Objectives: 3.2 IV, V; 5.2 III, IV. Code Purpose: 23.2 I, II, III.
Minimum Rear Setback (Cluster Lot)	4.1	5 ft.	Guiding Principle Objectives: 3.2 IV, V; 5.2 III, IV. Code Purpose: 23.2 I, II, III.
Minimum Corner Lot Setback (street-side)	5.1	5 ft. from internal drive. Planning area corner lot setback (street-side) shall apply along the street frontage.	Guiding Principle Objectives: 3.2 IV, V; 5.2 III, IV. Code Purpose: 23.2 I, II, III.
Access	6.1	Vehicular access to individual cluster lots shall be provided via an internal drive or private street.	Guiding Principle Objectives: 3.2 IV, V; 5.2 III, IV; 7.2 I. Code Purpose: 23.2 I, VI.
Building Orientation	7.1	Dwellings shall have a front door that is at least partially visible at street view or at eye-level from an internal drive.	Guiding Principle Objectives: 3.2 IV, V; 5.2 III, IV; 7.2 I. Code Purpose: 23.2 I, IV.
	7.2	The principal entrance to a dwelling unit shall be illuminated.	

23.3.2 Site Planning – applicable to Single-Family Detached Dwelling (Zero Lot Line) Uses only

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Minimum Side Setback	1.1	No side setback shall be permitted on one side of the lot and a minimum of 10 ft. shall be required in the opposite side yard. The dwelling on the zero lot line side may be offset from the lot line by no more than 1 ft.	Guiding Principle Objectives: 3.2 IV, V; 5.2 III, IV. Code Purpose: 23.2 I, II, III.
Minimum Rear Setback	2.1	5 ft. where rear entry garages are provided from an alley. 10 ft. where no alley is provided.	Guiding Principle Objectives: 3.2 IV, V; 5.2 III, IV. Code Purpose: 23.2 I, II, III.
Overhang	3.1	Eaves and gutters may overhang the zero lot line side of the lot by no more than 18 in. If there is an overhang over the lot line, a gutter is required such that roof runoff shall not be deposited over the lot line onto abutting lot.	Guiding Principle Objectives: 3.2 IV, V; 5.2 III, IV. Code Purpose: 23.2 I, II, III.

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Maintenance, Drainage and Overhang Easement	4.1	<p>A maintenance, drainage and overhang easement of 5 ft. shall be provided on each lot that is abutting a lot with a zero setback.</p> <p>This easement shall be for maintaining the wall and foundation that is abutting the zero lot line and provide for proper maintenance and drainage.</p> <p>Easement agreements shall state that grills are not permitted within the easement.</p>	<p>Guiding Principle Objectives: 3.2 III, IV, V; 5.2 III, IV.</p> <p>Code Purpose: 23.2 I, II, III.</p>
Building Orientation	5.1	Dwellings shall have a front door that is at least partially visible at street view or at eye-level from an internal drive.	<p>Guiding Principle Objectives: 3.2 III, IV, V; 5.2 III, IV.</p> <p>Code Purpose: 23.2 I, IV.</p>
	5.2	The principal entrance to a dwelling unit shall be illuminated.	
	5.3	No door or window openings shall be built into the side wall facing the zero lot line except those that are more than 3 ft. from the lot line and screened by a wall at least 8 ft. in height so that the opening(s) is not visible from the abutting lot – refer to Figure 23-1.	

Figure 23-1 Single-Family Detached Dwelling Use (Zero Lot Line) Setbacks





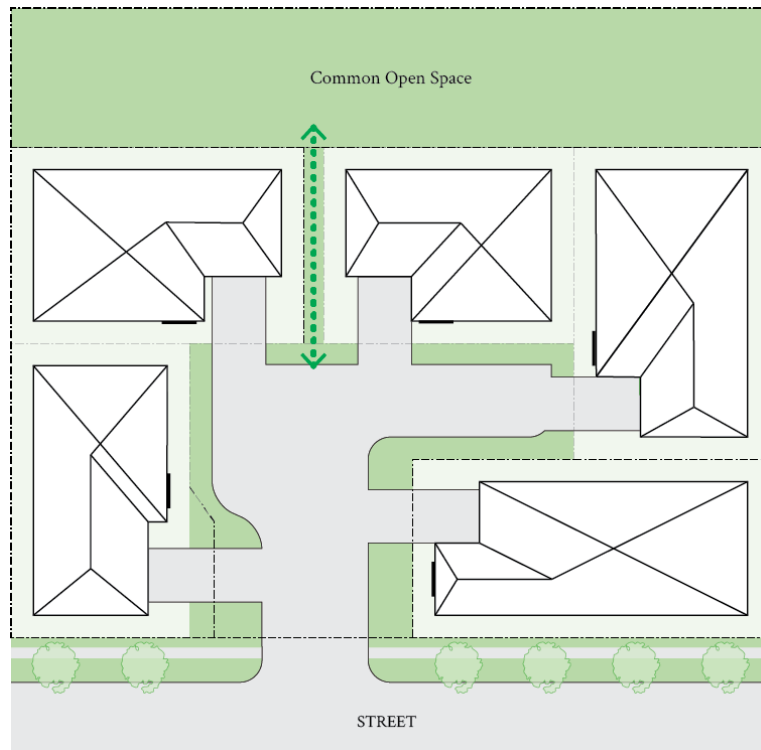
23.3.3 Detailed Building Design

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Façade Articulation	1.1	All dwellings shall incorporate: <ul style="list-style-type: none">▪ shadow lines created through minor changes to the façade;▪ variation to roof and building lines; and▪ a minimum of two of the following:<ul style="list-style-type: none">» windows and/or entries recessed into the façade by a minimum of 1 in.;» pillar posts;» balconies, porches or patios;» window hoods/screens; and/or» use of varying building materials.	Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III. Code Purpose: 23.2 I, II, III.
Entryways	2.1	Building entrances, located on the front façade, shall be architecturally prominent. Note: “Prominent” will be determined using reasonable and customary design standards.	Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III. Code Purpose: 23.2 I, II, III.
Ground Floor Detail	3.1	Where a ground level pedestrian entrance and/or yard of a dwelling adjoins and is directly accessible from a street, driveway or common open space, the finished floor level of the dwelling’s ground floor and its yard shall be a minimum of 18 in. and maximum of 35 in. higher than the finished ground level of the adjoining street, driveway or common open space.	Guiding Principle Objectives: 3.2 IX; 4.2 III, XII, 5.2 III. Code Purpose: 23.2 I, III.
Garages	4.1	Garages shall use one or more of the same exterior materials of the primary dwelling.	Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III. Code Purpose: 23.2 I, II, III.
	4.2	Garages shall be offset a minimum of 2 ft. from the front façade of the primary dwelling.	

23.3.4 Common Open Space – applicable to Single-Family Detached Dwelling (Cluster) Uses only

MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Minimum Area	<p>1.1 A minimum of 150 sq. ft. of common open space, with a minimum width of 10 ft., is provided per dwelling – refer to Figure 23-2.</p> <p>Common open space shall exclude streets, alleys, public ROW, vehicular drives, parking areas, service drives or utility easements. Up to 30 percent of common open space may include drainage easements and detention ponds only where such facilities are accessible for use by residents or are low impact development measures.</p>	<p>Guiding Principle Objectives: 3.2 IX; 4.2 III, XII, 5.2 III.</p> <p>Code Purpose: 23.2 I, III, V.</p>

Figure 23-2 Single-Family Detached Dwelling Use (Cluster) Common Open Space





24 Single-Family Attached Dwelling Use Code

24.1 Applicability

The code applies in the assessment of all applications for a single-family attached dwelling use within the project.

24.2 Purpose

The purpose of this Code is to:

- I. Ensure the Guiding Principles and Planning Area Objectives are met.
- II. Ensure residential development, including ancillary structures, is compatible in scale, intensity and appearance with the purpose of the neighborhood;
- III. Ensure residential amenity is maintained;
- IV. Ensure that dwellings are oriented towards streets and public parks;
- V. Ensure the provision of sufficient private open space for resident's needs.

24.3 Development Standards

The applicable application shall comply with the minimum development standards of this Code unless superseded by approved alternative development standards. Where there is a conflict between this Code and other codes, such a conflict is to be resolved in accordance with Figure 2-2.



24.3.1 Site Planning – applicable to Single-Family Attached Dwelling (Townhouse) Use only

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Minimum Side Setback	1.1	10 ft. on side of the last dwelling unit in a building group and the lot line unless a single-family attached dwelling (townhouse) use is proposed in the Town Center Planning Area. In this case, the minimum side setback shall be in accordance with the Town Center Planning Area Code.	Guiding Principle Objectives: 3.2 III, IV, V; 5.2 III, IV. Code Purpose: 24.2 I, II, III.
Minimum Rear Setback	2.1	5 ft. between a building (including garage) and lot line.	Guiding Principle Objectives: 3.2 III, IV, V; 5.2 III, IV. Code Purpose: 24.2 I, II, III.
Minimum Accessory Structure Setback	3.1	No setback is required where the accessory structure's walls are equal in fire resistance to the common walls of the principal residence, otherwise 3 ft.	Guiding Principle Objectives: 3.2 III, IV, V; 5.2 III, IV. Code Purpose: 24.2 I, II, III.
Typical Form	4.1	No less than three or more than eight individual dwelling units shall be permitted in each building group.	Guiding Principle Objectives: 3.2 III, IV, V; 5.2 III, IV. Code Purpose: 24.2 I, II, III.
Building Orientation	5.1	Dwellings shall have a front door that is at least partially visible at street view or at eye-level from an internal drive.	Guiding Principle Objectives: 3.2 III, IV, V; 5.2 III, IV. Code Purpose: 24.2 I, IV.
	5.2	The principal entrance to each dwelling unit shall be illuminated.	

24.3.2 Detailed Building Design

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Façade Articulation	1.1	All dwellings shall incorporate: <ul style="list-style-type: none">▪ shadow lines created through minor changes to the façade;▪ variation to roof and building lines; and▪ a minimum of two of the following:<ul style="list-style-type: none">» windows and/or entries recessed into the façade by a minimum of 1 in.;» lighting features;» pillar posts;» balconies, porches or patios;» window hoods/screens; and/or» use of varying building materials.	Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III. Code Purpose: 24.2 I, II, III.



		MINIMUM DEVELOPMENT STANDARD	ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Entryways	2.1	Building entrances, located on the front façade, shall be architecturally prominent. Note: “Prominent” will be determined using reasonable and customary design standards.	Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III. Code Purpose: 24.2 I, II, III.
Ground Floor Detail	3.1	Where a ground level pedestrian entrance and/or yard of a dwelling adjoins and is directly accessible from a street, driveway or common open space, the finished floor level of the dwelling’s ground floor and its yard shall be a minimum of 18 in. and maximum of 35 in. higher than the finished ground level of the adjoining street, driveway or common open space.	Guiding Principle Objectives: 3.2 IX; 4.2 III, XII, 5.2 III. Code Purpose: 24.2 I, III.
Garages	4.1	Garages shall use one or more of the same exterior materials of the primary dwelling.	Guiding Principle Objectives: 3.2 IX; 4.2 I, XII, 5.2 III. Code Purpose: 24.2 I, II, III.
	4.2	Garages shall be offset a minimum of 2 ft. from the front façade of the primary dwelling.	

24.3.3 Private Open Space – applicable to Single-Family Attached Dwelling (Townhouse) Use only

		MINIMUM DEVELOPMENT STANDARD	ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Minimum Area	1.1	A minimum of 250 sq. ft. of private open space, with a minimum width of 10 ft., shall be provided per dwelling.	Guiding Principle Objectives: 3.2 IX; 4.2 III, XII, 5.2 III. Code Purpose: 24.2 I, III, V.

25 Multi-Family Dwelling Use Code

25.1 Applicability

This Code applies in the assessment of all applications for multi-family dwelling use within the project.

25.2 Purpose

The purpose of this Code is to:

- I. Ensure the Guiding Principles and Planning Area Objectives are met.
- II. Ensure residential development, including ancillary structures, is compatible in scale, intensity and appearance with the purpose of the neighborhood;
- III. Ensure residential amenity is maintained in terms of character and identity;
- IV. Ensure that dwellings are oriented towards streets and public parks;
- V. Ensure the provision of sufficient private open space for resident's needs.

25.3 Development Standards

The applicable application shall comply with the minimum development standards of this Code unless superseded by approved alternative development standards. Where there is a conflict between this Code and other codes, such a conflict is to be resolved in accordance with Figure 2-2.

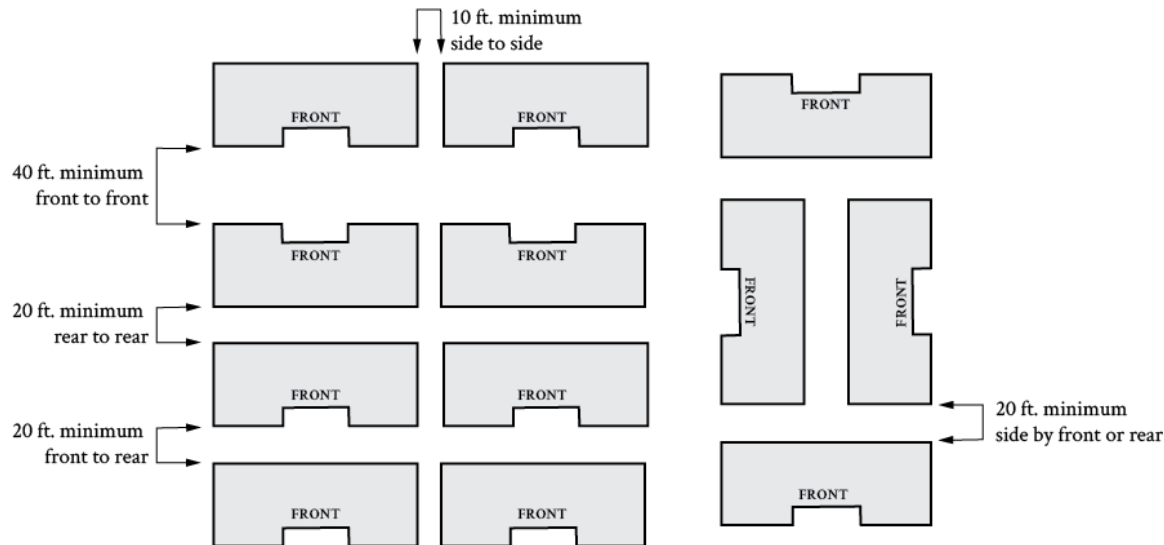
25.3.1 Site Planning

Section 25.3.1 is not applicable to multi-family dwelling uses within the Town Center Planning Area.

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Typical Form	1.1	The built form creates at least one private, common open space area.	Guiding Principle Objectives: 3.2 III, IV, V; 5.2 III, IV. Code Purpose: 25.2 I, II, III.
Minimum Distance between Buildings	2.1	Buildings sited on a single lot shall be setback a minimum of: <ul style="list-style-type: none"> 10 ft. between buildings sited side by side; 20 ft. between buildings sited side by front or rear; 40 ft. between buildings sited front to front; 20 ft. between buildings sited rear to rear; and 20 ft. between buildings sited front to rear. Refer to Figure 25-1.	Guiding Principle Objectives: 3.2 III, IV, V, VI; 5.2 III, IV. Code Purpose: 25.2 I, II, III.
Building Orientation	3.1	Each building shall have a pedestrian entrance to the highest-order adjoining roadway. Entrances at building corners may be used to satisfy this requirement. Where a building also fronts an additional street, internal pedestrian accessway, park or civic space with a pedestrian frontage, a second entrance shall address and open directly onto the street, accessway, park or civic space. Building entrances may include doors to individual shops or businesses, lobby entrances, entrances to civic spaces (e.g. squares, Plazas), or courtyard entrances to a cluster of shops or businesses. A minimum of one pedestrian building entrance shall be at least partially visible at street view or from eye-level on an internal driveway	Guiding Principle Objectives: 3.2 III, IV, V, VI; 4.2 I, II, XII, 5.2 III, IV. Code Purpose: 25.2 I, IV.
	3.2	Where adjoining a street, internal accessway, park or civic space, a second pedestrian building entrance shall address and open directly onto the street, internal accessway, park or civic space.	
	3.3	Corner buildings shall take advantage of their location by angling or articulating their entries architecturally to address both street frontages.	
	3.4	All pedestrian entrances shall be illuminated and comply with the requirements of Section 31.3.6.	
	3.5	The principal entrance to each dwelling unit shall be illuminated.	

MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Building Orientation (cont'd)	3.6	Design and orient 30 percent or more of the total building square footage (excluding existing buildings) such that one axis of each qualifying building is at least 1.5 times longer than the other, and the longer axis is within 15 degrees of geographical east/west axis to promote seasonal solar heat gain or loss taking into consideration major site views and vistas. The length to width ratio shall be applied only to the length of walls enclosing conditioned spaces; walls enclosing unconditioned spaces such as garages, arcades, or porches cannot contribute to credit achievement.
Solar Protection	4.1	The incorporation of architectural wall shading to reduce solar heat gain is encouraged, but not required, for large building façades. Note: An application shall not be denied or rejected based on failure to meet this minimum development standard.
Ground Floor Detail	5.1	Where a ground level pedestrian entrance and/or yard of a dwelling adjoins and is directly accessible from a street, driveway or common open space, the finished floor level of the dwelling's ground floor and its yard shall be a minimum of 18 in. and maximum of 35 in. higher than the finished ground level of the adjoining street, driveway or common open space.

Figure 25-1 Setbacks between Buildings





25.3.2 Private and Common Open Space

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Private Open Space Minimum Area	1.1	For each dwelling unit a minimum of 60 sq. ft. of private open space (e.g. balcony, porch, patio, terrace) adjoining the principal living space of the unit shall be provided.	Guiding Principle Objectives: 3.2 IX; 4.2 III, XII, 5.2 III. Code Purpose: 25.2 I, III, V.
	1.2	Up to 50 percent of units within a building may be exempt from Development Standard 1.1 above if the equivalent area is added to the common open space requirement.	
Common Open Space Minimum Area	2.1	<p>For every dwelling unit a minimum of 40 sq. ft. of common open space shall be provided.</p> <p>Common open space areas shall have at least one minimum dimension of 10 ft.</p> <p>Common open space excludes streets, alleys, public ROW, vehicular drives, parking areas, service drives or utility easements. Up to 30 percent of common open space may include drainage easements and detention ponds only where such facilities are accessible for use by residents or are low impact development measures.</p>	<p>Guiding Principle Objectives: 3.2 IX; 4.2 III, XII, 5.2 III.</p> <p>Code Purpose: 25.2 I, III, V.</p>

26 Park Use Code

26.1 Applicability

This Code applies in the assessment of all applications for a park use within the project.

26.2 Purpose

The purpose of this Code is to:

- I. Ensure the Guiding Principles and Planning Area Objectives are met.
- II. Provision is made for sufficient parks to:
 - meet the needs of the project and to ensure that the environmental and scenic values of the area are protected;
 - provide a diversity of settings and recreational opportunities;
 - contribute to the legibility and character of the project;
 - support riparian corridors and significant vegetation and habitat areas, and provide linkages between those areas; and
 - provide connectivity, both internal and external to the project.

26.3 Development Standards

The applicable application shall comply with the minimum development standards of this Code unless superseded by approved alternative development standards. Where there is a conflict between this Code and other codes, such a conflict is to be resolved in accordance with Figure 2-2.



26.3.1 All Parks – General

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
General	1.1	A Park Plan, prepared in accordance with Appendix 1, Section 1.7.2, by a certified landscape architect, shall be submitted as part of a Sector Plan application for regional and community parks, and as part of a Plat application for all other parks.	Guiding Principle Objectives: 3.2 V; 4.2 III; 5.2 VI. Code Purpose: 26.2 I, II.
	1.2	Where a park is proposed to be dedicated to the City, such parks shall comply with §118-60 (e) – (h) of the Code of Ordinances.	
Total Acreage	2.1	A minimum of 480 acres of land is open to the public over the life of the project. This is to be achieved through a combination of regional parks (minimum of 100 acres), community parks (minimum of 73 acres), neighborhood parks, pocket parks, linear open space parks and landscape amenity parks.	Guiding Principle Objectives: 3.2 V; 4.2 III; 5.2 VI. Code Purpose: 26.2 I, II.
Internal Vehicular Circulation	3.1	Internal vehicular circulation shall be consistent with an approved Park Specialized Area Plan.	Guiding Principle Objectives: 3.2 II, VI; 5.2 VI. Code Purpose: 26.2 I, II.
	3.2	Internal vehicular circulation is prohibited in neighborhood parks, pocket parks and landscape amenity parks.	
Planting of Shade Trees	4.1	A high value tree or new shade tree planting shall be located every 40 ft. along paths and trails (pedestrian, cycle or multi-use) to provide shade to pedestrians and cyclists.	Guiding Principle Objectives: 3.2 IX; 4.2 III; 5.2 VIII Code Purpose: 26.2 I, II.
	4.2	A minimum of 20 percent of each seating area and playscape must be in filtered shade at noon on June 21 by either an existing high value tree, a new shade tree planting, or a pavilion/shade structure. Note: For calculation purposes, the shade area for a new shade tree planting shall use $\frac{3}{4}$ of the average canopy size of the shade tree species at maturity.	
	4.3	Where located within parks, electrical and communication provision shall be either: <ul style="list-style-type: none">▪ underground;▪ on poles 30 ft. or greater in height; or▪ set back 10 ft. or greater from shade trees in accordance with standards published by NBU under §§118-18 and 118-31 of the Code of Ordinances or an alternative development standard proposed by the Master Developer and approved by NBU & the City.	



MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
View Fencing	<p>5.1</p> <p>Where fencing is proposed along the common lot line with adjoining residential or non-residential uses, view fencing shall be utilized.</p> <p>Where a park is adjoining a residential or non-residential use, a fence may be provided along the common lot line in lieu of a view fence when a majority of the adjoining property line (measured in length of shared property line) presents a written petition from the adjoining property owners indicating the specifics of a solid fence that will be administratively authorized along that linear property line. This petition is necessary to ensure the type of fence is consistent along a single linear property line. The developer or builder can petition as part of a plat if the fence will be constructed as part of the initial development.</p>	<p>Guiding Principle Objectives: 5.2 VI.</p> <p>Code Purpose: 26.2 I, II.</p>
Siting of Facilities/ Improvements in Floodplains	<p>6.1</p> <p>Parks may be located within the 100-year flood event floodplain with the following provisions:</p> <ul style="list-style-type: none">any wall exceeding 3 ft. in height shall be located out of the 100-year flood event floodplain;for regional parks, picnic tables, pavilions/shade structures, playscapes, restrooms and drinking fountains shall be located out of the 5-year flood event floodplain and shall be built to be resilient to flood impacts;for regional parks, a minimum of 25 percent of activation sources by item count are located out of the 25-year flood event floodplain, with the remainder to be designed to be resilient to flood impacts;for community, neighborhood and pocket parks, a minimum of 50 percent of activation sources by item count are located out of the 25-year flood event floodplain, with the remainder to be designed to be resilient to flood impacts;internal roads, paths, trails and parking areas shall be located out of the 5-year flood event floodplain and have a minimum of two ingress/egress points.	<p>Guiding Principle Objectives: 3.2 V; 4.2 III, VIII; 8.2 IV.</p> <p>Code Purpose: 26.2 I, II.</p>



26.3.2 Regional Park

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Location	1.1	Each regional park is located in accordance with Section 7.1 of the Development Agreement	Guiding Principle Objectives: 3.2 V; 4.2 III; 5.2 VI. Code Purpose: 26.2 I, II.
	1.2	A regional park shall have a minimum 200 ft. frontage to at least one major roadway	
	1.3	No more than 50 percent of a regional park's perimeter shall share a common lot line with a Neighborhood Planning Area.	
	1.4	Each regional park shall have a minimum of two ingress/egress points.	
Pedestrian & Bicycle Accessibility	2.1	Pedestrian and cycle access to regional parks shall be via linear open space parks, major accessways and sidewalks and bike lanes along streets.	Guiding Principle Objectives: 3.2 II, VI; 5.2 VI. Code Purpose: 26.2 I, II.
Programming Schedule	3.1	Park improvements shall be provided in accordance with Table 26-1. Note: The discretionary component of this Listed Minimum Development Standard is limited so as not to include any design specifications that relate to the appearance, materials or theming of an improvement, unless directly related to the maintenance, durability and/or safety of the improvement.	Guiding Principle Objectives: 5.2 VI. Code Purpose: 26.2 I, II.
	3.2	The following shall be added as a Park Specialized Area Plan Note: "Amendments to the park programming schedule, including but not limited to the provision of additional improvements or substituting improvements, shall be administratively approved by the Parks Director".	
	3.3	A minimum of 40 park activation sources shall be provided per park. The provision of more than one of the same park activation source shall be calculated as multiple activation sources for the purposes (e.g. the provision of two athletic fields/playfields shall be calculated as two activation sources.)	



26.3.3 Community Park

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Location	1.1	<p>At least one community park shall be located to the north/east of River Road.</p> <p>Note:</p> <p>The Master Developer reserves the right to determine the location of such park and no development approval shall be withheld or delayed in relation to such park unless the final Sector Plan for the area to the north/east of River Road is filed and the standard has not yet by satisfied in that Sector Plan or a prior Sector Plan.</p>	<p>Guiding Principle Objectives: 3.2 V; 4.2 III; 5.2 VI.</p> <p>Code Purpose: 26.2 I, II.</p>
Pedestrian & Bicycle Accessibility	2.1	<p>Pedestrian and cycle access to community parks shall be via sidewalks and bike lanes along streets; and where adjoining a community park, pedestrian and cycle access shall also be provided via linear open space parks and major accessways.</p>	<p>Guiding Principle Objectives: 3.2 II, VI; 5.2 VI.</p> <p>Code Purpose: 26.2 I, II.</p>
Programming Schedule	3.1	<p>Park improvements shall be provided in accordance with Table 26-1.</p> <p>Note:</p> <p>The discretionary component of this Listed Minimum Development Standard is limited so as not to include any design specifications that relate to the appearance, materials or theming of an improvement, unless directly related to the maintenance, durability and/or safety of the improvement.</p>	<p>Guiding Principle Objectives: 5.2 VI.</p> <p>Code Purpose: 26.2 I, II.</p>
	3.2	<p>The following shall be added as a Park Specialized Area Plan Note:</p> <p>“Amendments to the park programming schedule, including but not limited to the provision of additional improvements or substituting improvements, shall be administratively approved by the Parks Director”.</p>	
	3.3	<p>A minimum of 15 park activation sources shall be provided per park.</p> <p>The provision of more than one of the same park activation source shall be calculated as multiple activation sources for the purposes (e.g. the provision of two athletic fields/playfields shall be calculated as two activation sources.)</p>	



26.3.3.1 Community Park - Sports Park, Active Use Park and Informal Use Park

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Location	1.1	A minimum of one sports park shall be provided over the life of the project. Note: The Master Developer reserves the right to determine the location of such park and no development approval shall be withheld or delayed in relation to such park unless the final Sector Plan for the development is filed and the standard has not yet been satisfied in that Sector Plan or a prior Sector Plan.	Guiding Principle Objectives: 3.2 V; 4.2 III; 5.2 VI. Code Purpose: 26.2 I, II.
	1.2	For that part of a park's perimeter that does not share a common lot line with a Park Planning Area, the Guadalupe River or a school use, a minimum of 50% of the park's perimeter shall abut a major and/or minor roadway.	
Finished Surface Gradient	2.1	For sports parks and active use parks, a minimum of 7.5 acres of the park shall have a maximum finished surface gradient of 2 percent and shall be suitable for playing fields.	Guiding Principle Objectives: 5.2 VI. Code Purpose: 26.2 I, II.

26.3.3.2 Community Park - Urban Common Park

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Location	1.1	A minimum of one urban common park shall be provided over the life of the project. Note: The Master Developer reserves the right to determine the location of such park and no development approval shall be withheld or delayed in relation to such park unless the final Sector Plan including or adjoining the Town Center Planning Area or Town Center Frame Overlay is filed and the standard has not yet been satisfied in that Sector Plan or a prior Sector Plan.	Guiding Principle Objectives: 3.2 V; 4.2 III; 5.2 VI. Code Purpose: 26.2 I, II.
	1.2	The urban common park shall be within or adjacent to the Town Center Planning Area and/or Town Center Frame Overlay.	
	1.3	An urban common park shall have a minimum 200 ft. frontage to at least one major or minor roadway.	
	1.4	An urban common park shall be orientated as per the Town Center Planning Area Code.	

26.3.4 Neighborhood Parks

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Location	1.1	A neighborhood park shall be located within a ¼ mile walking distance of 90 percent of residential use lots within the Project.	Guiding Principle Objectives: 3.2 V; 4.2 III; 5.2 VI. Code Purpose: 26.2 I, II.
	1.2	Neighborhood parks shall not be located adjacent to major roadways unless the portion of the Neighborhood Park adjacent to the major roadway is to provide an integrated water quality facility.	
	1.3	For that part of a park's perimeter that does not share a common lot line with a Park Planning Area, the Guadalupe River or a school use, a minimum of 50% of the park's perimeter shall abut a minor roadway.	
Finished Surface Gradient	2.1	A minimum of ¼ acre of each park shall have a maximum finished surface level gradient of 2 percent.	Guiding Principle Objectives: 5.2 VI. Code Purpose: 26.2 I, II.
Pedestrian & Bicycle Accessibility	3.1	Pedestrian and cycle access to neighborhood parks shall be via sidewalks and bike lanes along streets; and where adjoining a neighborhood park, pedestrian and cycle access shall also be provided via linear open space parks and major accessways.	Guiding Principle Objectives: 3.2 II, VI; 5.2 VI. Code Purpose: 26.2 I, II.
Programming Schedule	4.1	Park improvements shall be provided in accordance with Table 26-1. Note: The discretionary component of this Listed Minimum Development Standard is limited so as not to include any design specifications that relate to the appearance, materials or theming of an improvement, unless directly related to the maintenance, durability and/or safety of the improvement.	Guiding Principle Objectives: 5.2 VI. Code Purpose: 26.2 I, II.
	4.2	The following shall be added as a Park Specialized Area Plan Note: "Amendments to the park programming schedule, including but not limited to the provision of additional improvements or substituting improvements, shall be administratively approved by the Parks Director".	
	4.3	A minimum of 5 park activation sources shall be provided per park. The provision of more than one of the same park activation source shall be calculated as multiple activation sources for the purposes (e.g. the provision of two athletic fields/playfields shall be calculated as two activation sources.)	

26.3.5 Pocket Park

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Location	1.1	Pocket parks shall not be located adjacent to major roadways.	Guiding Principle Objectives: 3.2 V; 4.2 III; 5.2 VI. Code Purpose: 26.2 I, II.
	1.2	A pocket park shall have a minimum 50 ft. frontage to at least one minor roadway.	
Programming Schedule	2.1	Park improvements shall be provided in accordance with Table 26-1. Note: The discretionary component of this Listed Minimum Development Standard is limited so as not to include any design specifications that relate to the appearance, materials or theming of an improvement, unless directly related to the maintenance, durability and/or safety of the improvement.	Guiding Principle Objectives: 5.2 VI. Code Purpose: 26.2 I, II.
	2.2	The following shall be added as a Park Specialized Area Plan Note: "Amendments to the park programming schedule, including but not limited to the provision of additional improvements or substituting improvements, shall be administratively approved by the Parks Director".	

26.3.6 Linear Open Space Park

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Location	1.1	Linear open space parks shall be located along natural and engineered corridors and channels.	Guiding Principle Objectives: 3.2 V; 4.2 III, IV; 5.2 VI. Code Purpose: 26.2 I, II.
	1.2	A linear open space park shall have a minimum 50 ft. frontage to at least one major or minor roadway.	
Programming Schedule	2.1	Park improvements shall be provided in accordance with Table 26-1. Note: The discretionary component of this Listed Minimum Development Standard is limited so as not to include any design specifications that relate to the appearance, materials or theming of an improvement, unless directly related to the maintenance, durability and/or safety of the improvement.	Guiding Principle Objectives: 5.2 VI. Code Purpose: 26.2 I, II.
	2.2	The following shall be added as a Park Specialized Area Plan Note: "Amendments to the park programming schedule, including but not limited to the provision of additional improvements or substituting improvements, shall be administratively approved by the Parks Director".	

26.3.7 Landscape Amenity Park

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Location	1.1	A minimum of two landscape amenity parks are provided adjacent to the bluffs along the Guadalupe River.	Guiding Principle Objectives: 3.2 V; 4.2 III; 5.2 VI. Code Purpose: 26.2 I, II.
	1.2	No direct pedestrian access shall be provided between a landscape amenity park and the Guadalupe River unless otherwise complying with Section 27.3.1, Development Standard 3.1 and/or Section 26.3.7, Development Standard 2.1.	
Programming Schedule	2.1	Park improvements shall be provided in accordance with Table 26-1. Note: The discretionary component of this Listed Minimum Development Standard is limited so as not to include any design specifications that relate to the appearance, materials or theming of an improvement, unless directly related to the maintenance, durability and/or safety of the improvement.	Guiding Principle Objectives: 5.2 VI. Code Purpose: 26.2 I, II.
	2.2	The following shall be added as a Park Specialized Area Plan Note: "Amendments to the park programming schedule, including but not limited to the provision of additional improvements or substituting improvements, shall be administratively approved by the Parks Director".	
	2.3	All improvements within landscape amenity parks are carefully designed to maintain the environmental character in its natural form.	

26.3.8 HOA Facility

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Location	1.1	HOA facilities may be integrated within public parks.	Guiding Principle Objectives: 3.2 V; 4.2 III; 5.2 VI. Code Purpose: 26.2 I, II.
Programming Schedule	2.1	HOA facilities that are intended to function as private parks, shall comply with the development standards required for public parks. HOA facilities, such as clubhouses, gyms, standalone swimming pools and tennis courts etc., which are not intended to function as a private park, shall not be required to comply with this Code.	Guiding Principle Objectives: 5.2 VI. Code Purpose: 26.2 I, II.
	2.2	The following shall be added as a Park Specialized Area Plan Note: "Amendments to the park programming schedule, including but not limited to the provision of additional improvements or substituting improvements, shall be administratively approved by the Parks Director".	



26.3.9 Trailhead

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Location	1.1	A major trailhead shall be located at the intersection of a trail and a major roadway.	Guiding Principle Objectives: 3.2 II, VI; 5.2 VI. Code Purpose: 26.2 I, II.
	1.2	A minor trailhead shall be located at the intersection of a trail and a minor roadway.	
	1.3	A major trailhead shall be located at the ingress/egress point of a trail at a regional or community park.	
	1.4	A minor trailhead shall be located at the ingress/egress point of a trail at a neighborhood park.	
	1.5	Minor trailheads shall be located at 3 miles intervals along trails.	
Amenities	2.1	Major trailheads shall include shade (either via plantings or a formal structure), a bench, trash receptacle including pet waste receptacle, directional signage with park/trail rules, and a drinking fountain, including a pet drinking fountain.	Guiding Principle Objectives: 5.2 VI. Code Purpose: 26.2 I, II.
	2.2	Parking shall be provided within the 600 ft. of a major trailhead provided in accordance with Development Standard 1.1. Where on-street parking is permitted in accordance with Table 13-2, on-street parking shall satisfy the requirements of this development standard.	
	2.3	Minor trailheads shall include shade (either via plantings or a formal structure), trash receptacle including pet waste receptacle and directional signage with park/trail rules.	

Table 26-1 Park Programming Schedule

Park programming shall be provided as follows:

- Mandatory Improvement
- Allowed Optional Improvement
- ⊙ Discouraged Improvement
- A Park Activation Sources

IMPROVEMENT	PARK ACTIVATION SOURCE	REGIONAL PARK 1	REGIONAL PARK 2	COMMUNITY PARK – SPORTS PARK	COMMUNITY PARK – ACTIVE USE PARK	COMMUNITY PARK – INFORMAL USE PARK	COMMUNITY PARK – URBAN COMMON PARK	NEIGHBORHOOD PARK	POCKET PARK	LINEAR OPEN SPACE PARK	LANDSCAPE AMENITY PARK
Athletic Field/Playfield (with class 1 lighting)	A	⊙	⊙	○ ¹	⊙	⊙	⊙	⊙	⊙	⊙	⊙
Athletic Field/Playfield (without class 1 lighting)	A	●	●	● ¹	●	○	○	○	⊙	⊙	⊙
Bike rack (min. 5 bikes)		●	●	●	●	●	●	●	○	○	○
Bollards along major roadways		●	●	●	●	●	●	●	○	○	○
Concession	A	○	○	○	○	○	○	⊙	⊙	⊙	⊙
Drinking Fountain and Tap, including pet drinking facility	A	●	●	●	●	●	●	●	○	●	○
Electrical Outlet		○	○	○	○	○	●	○	○	○	○
Event Space	A	○	○	○	○	○	○	⊙	⊙	⊙	⊙
Exercise Equipment Circuit	A	○	○	○	○	○	○	○	○	●	⊙
Fenced Dog Off Leash Area	A	○	○	○	○	○	○	○	⊙	⊙	⊙
Game Table	A	○	○	○	○	○	○	○	○	⊙	⊙
HOA Facility	A	○	○	○	○	○	○	○	○	○	○
Informal Sports Facility (e.g. kick about area, half court, ball bouncing wall, skate bowl)	A	○	○	○	○	○	○	○	○	⊙	⊙
Open Play Area	A	●	●	●	●	●	●	●	○	⊙	⊙



PART G

Section 26 Park Use Code

IMPROVEMENT	PARK ACTIVATION SOURCE	REGIONAL PARK 1	REGIONAL PARK 2	COMMUNITY PARK – SPORTS PARK	COMMUNITY PARK – ACTIVE USE PARK	COMMUNITY PARK – INFORMAL USE PARK	COMMUNITY PARK – URBAN COMMON PARK	NEIGHBORHOOD PARK	POCKET PARK	LINEAR OPEN SPACE PARK	LANDSCAPE AMENITY PARK
Paths/Trails, being either connected to existing or approved future accessways or a loop circuit (per ¼ mile of path/trail).	A	●	●	●	●	●	●	●	●	●	○
Pavilion/Shade Structure	A	●	●	●	●	●	●	●	○	○	○
Picnic Tables, being 2 tables and a grill	A	●	●	●	●	●	○	○	○	○	○
Picnic Tables, being 3 tables and no grill.	A	●	●	●	●	●	○	●	○	○	○
Pier/Launch	A	○	○	○	○	○	○	○	○	○	○
Play Court (with class 1 lighting)	A	○	○	○	○	○	○	○	○	○	○
Play Court (without class 1 lighting)	A	○	○	○	○	○	○	○	○	○	○
Playscape	A	●	●	●	●	●	●	●	○	○	○
Pond	A	○	○	○	○	○	○	○	○	○	○
Public Art	A	○	○	○	○	○	●	○	○	○	○
Restroom		●	●	●	●	●	●	○	○	○	○
Ropes Course	A	○	○	○	○	○	○	○	○	○	○
Seating, being 3 individual benches	A	●	●	●	●	●	●	●	○	○	○
Security Lighting		○	○	○	○	○	○	○	○	○	○
Signage, Directional		●	●	●	●	●	●	○	○	●	○
Signage, Park Identification		●	●	●	●	●	●	●	○	●	○
Skate Boarding Facility	A	○	○	○	○	○	○	○	○	○	○
Sports Clubhouse	A	○	○	○	○	○	○	○	○	○	○
Spray Ground	A	○	○	○	○	○	○	○	○	○	○
Trash Receptacle, including pet waste receptacle		●	●	●	●	●	●	●	●	●	○

¹ A minimum of two athletic fields/playing fields (being either with or without lighting) shall be provided per park. Each individual field shall be considered a park activation source).



PART H

OVERLAY CODES



27 Guadalupe River Interface Overlay Code

27.1 Applicability

This Code applies in the assessment of all applications abutting, or within 30 ft. of the Guadalupe River bank or bluffs, whichever is greater.

27.2 Purpose

The purpose of this Code is to:

- I. Ensure the Guiding Principles and Planning Area Objectives are met.
- II. Respect the aesthetic value of the Guadalupe River for both river users and adjacent Project residents.
- III. Retain existing vegetation and major view corridors along the Guadalupe River frontage.
- IV. Contribute to the legibility and character of the project.
- V. Encourage the use of the Guadalupe River as a valuable recreation and amenity resource.
- VI. Facilitate pedestrian and cycle connectivity throughout the project.

27.3 Development Standards

The applicable application shall comply with the minimum development standards of this Code unless superseded by approved alternative development standards. Where there is a conflict between this Code and other codes, such a conflict is to be resolved in accordance with Figure 2-2.



27.3.1 General – applicable to Sector Plan and subsequent related applications

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Location	1.1	A 30 ft. buffer shall be provided along the edge of the riverbank/bluffs of the Guadalupe River. For development with direct river access, the 30 ft. buffer shall be from the edge of the riverbank. For development located on the bluffs, the 30 ft. buffer shall be from the edge of the bluffs.	Guiding Principle Objectives: 3.2 V, VI, IX; 4.2 III, IV, V, VII; 5.2 VII. Code Purpose: 27.2 I, II, III, IV, V, VI.
Development within Buffers	2.1	To the extent required to be identified in a Sector Plan, roads, facilities, structures and improvements such as paths, trails, sidewalks, public utilities, stormwater management facilities and water quality measures shall be permitted within buffer areas.	Guiding Principle Objectives: 3.2 V, VI, IX; 4.2 III, IV, V, VII; 5.2 VII. Code Purpose: 27.2 I, II, III, IV.
	2.2	Where buffers are located within parks, the buffer shall count towards overall park acreage.	
River Access	3.1	Public access to the river is discouraged. To the extent required to be identified in a Sector Plan, public connectivity to the Guadalupe River shall be restricted to: <ul style="list-style-type: none">▪ amenity landscape parks on the bluffs;▪ public and private paths and trails along the bluffs;▪ private multi-use paths and trails where associated with a hotel/resort or residential uses; and▪ HOA facilities.	Guiding Principle Objectives: 3.2 V, VI, IX; 4.2 III, IV, V, VII; 5.2 VII; 6.2 VI. Code Purpose: 27.2 I, V, VI.

27.3.2 General – applicable to Plat and subsequent related applications only

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Development within Buffer	1.1	The following shall be added as a Plat Note: “Where the buffer is located within private property, buffers shall be protected through deed restrictions.”	Guiding Principle Objectives: 3.2 V, VI, IX; 4.2 III, IV, V, VII; 5.2 VII. Code Purpose: 27.2 I, II, III, IV, V, VI.
	1.2	The following shall be added as a Plat Note: “Roads, facilities, structures and improvements such as paths, trails, trailheads, sidewalks, park identification and way finding signage, seating, picnic tables, drinking fountains, pet drinking fountains, trash receptacles, pet waste receptacles, shade structures, outlooks, retaining walls, public utilities, stormwater management facilities and water quality measures are permitted within buffer areas. All other development within a buffer area shall be prohibited.”	



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Development within Buffer (cont'd)	1.3	Where buffers are located within parks, the buffer shall count towards overall park acreage.	
River Access	2.1	Public access to the river is discouraged. To the extent required to be identified in a Plat, public connectivity to the Guadalupe River shall be restricted to: <ul style="list-style-type: none">amenity landscape parks on the bluffs;public and private paths and trails (pedestrian, bicycle and multi-use) along the bluffs;private multi-use paths and trails (pedestrian, bicycle or multi-use) where associated with a Hotel/Resort or residential use; andHOA facilities.	Guiding Principle Objectives: 3.2 V, VI, IX; 4.2 III, IV, V, VII; 5.2 VII; 6.2 VI. Code Purpose: 27.2 I, V, VI.
Construction	3.1	The following shall be added as a Plat Note: “Before the commencement of any construction activity adjacent to the buffer, the buffer area shall be identified and protected by the installation of a temporary 4 ft. polyether barrier fence, or similar barrier as approved by the City Engineer, along the full common boundary with the buffer area. The barrier shall be maintained in good condition until construction is complete at which time the barrier shall be removed.”	Guiding Principle Objectives: 3.2 V, VI, IX; 4.2 III, IV, V, VII; 5.2 VII. Code Purpose: 27.2 I.

27.3.3 General – applicable to Building Permit and Site Plan applications only

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Development within Buffer	1.1	The following shall be added as a Plat Note: “Facilities, structures and improvements such as paths, trails, sidewalks, trailheads, park identification and way finding signage, seating, picnic tables, drinking fountains, pet drinking fountains, trash receptacles, pet waste receptacles, shade structures, outlooks, retaining walls, public utilities, stormwater management facilities and water quality measures are permitted within buffer areas. All other development within a buffer area shall be prohibited.”	Guiding Principle Objectives: 3.2 V, VI, IX; 4.2 III, IV, V, VII; 5.2 VII. Code Purpose: 27.2 I, II, III, IV, V, VI.



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
River Access	2.1	Public access to the river is discouraged. To the extent required to be identified in a Site Plan, public connectivity to the Guadalupe River shall be restricted to: <ul style="list-style-type: none">amenity landscape parks on the bluffs;public and private paths and trails (pedestrian, bicycle and multi-use) along the bluffs;private multi-use paths and trails (pedestrian, bicycle or multi-use) where associated with a hotel/resort or residential use; andHOA facilities.	Guiding Principle Objectives: 3.2 V, VI, IX; 4.2 III, IV, V, VII; 5.2 VII; 6.2 VI. Code Purpose: 27.2 I, V, VI.
	2.2	Where direct physical access is proposed to the Guadalupe River, Guadalupe River Access Management Plan, prepared in accordance with Appendix 1, Section 1.15 shall be submitted as part of a Site Plan application.	
Construction	3.1	The following shall be added as a Site Plan Note: “Before the commencement of any construction activity adjacent to the buffer, the buffer area shall be identified and protected by the installation of a temporary 4 ft. polyether barrier fence, or similar barrier as approved by the City Engineer, along the full common boundary with the buffer area. The barrier shall be maintained in good condition until construction is complete at which time the barrier shall be removed.”	Guiding Principle Objectives: 3.2 V, VI, IX; 4.2 III, IV, V, VII; 5.2 VII. Code Purpose: 27.2 I.



28 Loop 337 Green Ribbon Overlay Code

28.1 Applicability

This Code applies in the assessment of all applications abutting, or within 30 ft. of, SH Loop 337 ROW.

28.2 Purpose

The purpose of this Code is to:

- I. Ensure the Guiding Principles and Planning Area Objectives are met.
- II. Maintain the perception of an inter-urban break along the frontage of SH Loop 337.
- III. Provide visual screening of development abutting SH Loop 337.
- IV. Contribute to the legibility and character of the project.
- V. Encourage the use of the green ribbon as a valuable recreation and amenity resource.
- VI. Facilitate pedestrian and cycle connectivity throughout the project.

28.3 Development Standards

The applicable application shall comply with the minimum development standards of this Code unless superseded by approved alternative development standards. Where there is a conflict between this Code and other codes, such a conflict is to be resolved in accordance with Figure 2-2.



28.3.1 General – applicable to Sector Plans and subsequent related applications

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Location	1.1	A 30 ft. landscaped buffer (“green ribbon”) shall be provided internal to the project, along the lot line abutting SH Loop 337 ROW. Where the lot line is interrupted by a property outside the project, a multi-use path or trail of the same nature as provided in the green ribbon, shall be constructed to link the green ribbon and provide for continuous pedestrian and cycle connectivity along SH Loop 337.	Guiding Principle Objectives: 3.2 VI, IX; 4.2 III, VIII; 5.2 VI; VII. Code Purpose: 28.2 I, II, III, IV, V, VI.
Development within Buffer	2.1	To the extent required to be identified in a Sector Plan, roads, facilities, structures and improvements such as paths, trails, public utilities, stormwater management facilities, water quality measures and signage are permitted within the green ribbon.	Guiding Principle Objectives: 3.2 VI, IX; 4.2 III, VIII; 5.2 VI; VII. Code Purpose: 28.2 I, II, III, IV, V, VI.
Park Use	3.1	The green ribbon shall count towards overall public park acreage for all areas accessible to the public.	Guiding Principle Objectives: 3.2 VI, IX; 4.2 III; 5.2 VI; VII. Code Purpose: 28.2 V, VI.

28.3.2 General – applicable to Plats and subsequent related applications only

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Development within Buffer	1.1	Where the green ribbon is located within private property, the buffer shall be protected through deed restrictions and as a public easement.	Guiding Principle Objectives: 3.2 VI, IX; 4.2 III, VIII; 5.2 VI; VII. Code Purpose: 28.2 I, II, III, IV, V, VI.
	1.2	The following shall be added as a Plat Note: “Roads, facilities, structures and improvements such as sidewalks, paths, trails, trailheads, park identification and way finding signage, seating, picnic tables, drinking fountains, pet drinking fountains, trash receptacles, pet waste receptacles, shade structures, outlooks, retaining wall, public utilities, stormwater management facilities, water quality measures and signage are permitted within the green ribbon. All other development shall be prohibited within the green ribbon.”	
	1.3	The green ribbon shall count towards overall public park acreage for all areas accessible to the public.	



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Construction	2.1	<p>The following shall be added as a Site Plan Note:</p> <p>“Before the commencement of any construction activity adjacent to the green ribbon buffer, the buffer area shall be identified and protected by the installation of a temporary 4 ft. polyether barrier fence, or similar barrier as approved by the City Engineer, along the full common boundary with the buffer area. The barrier shall be maintained in good condition until construction is complete at which time the barrier shall be removed.”</p>	<p>Guiding Principle Objectives: 3.2 VI, IX; 4.2 III, VIII; 5.2 VI; VII.</p> <p>Code Purpose: 28.2 I.</p>

28.3.3 General – applicable to Building Permit and Site Plan applications only

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Development within Buffer	1.1	<p>The following shall be added as a Site Plan Note:</p> <p>“Facilities, structures and improvements such as sidewalks, paths, trails, trailheads, park identification and way finding signage, seating, picnic tables, drinking fountains, pet drinking fountains, trash receptacles, pet waste receptacles, shade structures, outlooks, retaining wall, public utilities, stormwater management facilities, water quality measures and signage are permitted within the green ribbon.</p> <p>All other development within the green ribbon shall be prohibited.”</p>	<p>Guiding Principle Objectives: 3.2 VI, IX; 4.2 III, VIII; 5.2 VI; VII.</p> <p>Code Purpose: 28.2 I, II, III, IV, V, VI.</p>
Construction	2.1	<p>The following shall be added as a Site Plan Note:</p> <p>“Before the commencement of any construction activity adjacent to the green ribbon buffer, the buffer area shall be identified and protected by the installation of a temporary 4 ft. polyether barrier fence, or similar barrier as approved by the City Engineer, along the full common boundary with the buffer area. The barrier shall be maintained in good condition until construction is complete at which time the barrier shall be removed. “</p>	<p>Guiding Principle Objectives: 3.2 VI, IX; 4.2 III, VIII; 5.2 VI; VII.</p> <p>Code Purpose: 28.2 I.</p>



28.3.4 Landscaping

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Landscape Plan	1.1	A Landscape Plan, prepared in accordance with Appendix 1, Section 1.9 by a state licensed landscape architect shall be submitted as part of a Plat application.	Guiding Principle Objectives: 3.2 IX; 4.2 III; 5.2 II. Code Purpose: 28.2 I, II, III, IV, V, VI.
Trail	2.1	A multi-use trail with a minimum width of 10 ft. shall be provided.	Guiding Principle Objectives: 3.2 VI, IX; 4.2 III; 5.2 II. Code Purpose: 28.2 V, VI.
	2.2	A multi-use trail may meander through the green ribbon.	
	2.3	For pedestrian safety and visibility, the trail shall cross at road intersections.	
	2.4	Seating, trash receptacles, including pet waste receptacle, and way finding signage shall be located at major roadway intersections and intersections with internal trail-network.	
Sight Lines	3.1	Visual breaks in the green ribbon, of no more than 100 ft. or ROW width, whichever is greater, may occur at road intersections, commercial entrances or civic spaces, and adjoining parks to provide sight lines into the project. Continual pedestrian and cycle access shall be provided the full length of the green ribbon.	Guiding Principle Objectives: 3.2 VI, IX; 4.2 III; 5.2 II; 7.2 I. Code Purpose: 28.2 I, II, III, IV, VI.
Planting	4.1	All planting species shall be selected from the approved plant list in Appendix 2.	Guiding Principle Objectives: 3.2 IX; 4.2 III; 5.2 II. Code Purpose: 28.2 I, II, III, IV.
	4.2	For every 25 linear ft. of road frontage, there shall be a minimum of 1 tree. Trees may be planted in clusters as opposed to evenly spaced. For new tree planting, a mix of 80 percent large and medium trees and 20 percent small trees shall be provided.	
	4.3	Plant beds, a minimum of 300 sq. ft., shall occur on either side of the intersection of SH Loop 337 and major internal roadways. Plant beds shall comply with Section 31.3.1, Development Standard 7.1.	
	4.4	Irrigation shall comply with Section 31.3.1, Development Standards 4.1-4.4.	
	4.5	Trees planted in green ribbon may be used to fulfill tree replacement requirements as required by the Vegetation Protection Code – refer to Section 34.	



29 Stream Buffer Overlay Code

29.1 Applicability

This Code applies in the assessment of all applications that contain a stream as identified on Plan 4-1 Natural Environment & Stewardship Supporting Framework Plan.

29.2 Purpose

The purpose of this Code is to:

- I. Ensure the Guiding Principles and Planning Area Objectives are met.
- II. Maintain the natural function of streams as landscape and environmental corridors.
- III. Enhance stormwater management and water quality mitigation measures.
- IV. Contribute to the legibility and character of the project.
- V. Encourage the use of the project's streams as a valuable recreation, park and amenity resource.
- VI. Facilitate pedestrian and cycle connectivity throughout the project.

29.3 Development Standards

The applicable application shall comply with the minimum development standards of this Code unless superseded by approved alternative development standards. Where there is a conflict between this Code and other codes, such a conflict is to be resolved in accordance with Figure 2-2.



29.3.1 General – applicable to a Sector Plan and subsequent related applications

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE										
Location	1.1	Buffers shall be provided as follows:	Guiding Principle Objectives: 3.2 V, VI, VIII; 4.2 IV, VI, VII, VIII; 5.2 VII. Code Purpose: 29.2 I, II, III, IV, V, VI.										
		<table><tr><th>STREAM</th><th>MINIMUM BUFFER</th></tr><tr><td>Identified streams draining 640 acres or greater.</td><td>300 ft. from the centerline.</td></tr><tr><td>Identified streams draining 320 – 639 acres.</td><td>200 ft. from the centerline.</td></tr><tr><td>Identified streams draining 128 – 319 acres</td><td>100 ft. from the centerline.</td></tr><tr><td>Identified streams draining less than 128 acres.</td><td>No Buffer requirement.¹</td></tr></table>		STREAM	MINIMUM BUFFER	Identified streams draining 640 acres or greater.	300 ft. from the centerline.	Identified streams draining 320 – 639 acres.	200 ft. from the centerline.	Identified streams draining 128 – 319 acres	100 ft. from the centerline.	Identified streams draining less than 128 acres.	No Buffer requirement. ¹
		STREAM		MINIMUM BUFFER									
		Identified streams draining 640 acres or greater.		300 ft. from the centerline.									
		Identified streams draining 320 – 639 acres.		200 ft. from the centerline.									
	Identified streams draining 128 – 319 acres	100 ft. from the centerline.											
Identified streams draining less than 128 acres.	No Buffer requirement. ¹												
¹ Where abutting the Guadalupe River, development shall still be subject to any applicable buffer requirements set forth in Section 27.													
1.2	To the extent required to be identified in a Sector Plan, roads, facilities, structures and improvements such as paths, trails, public utilities, stormwater management facilities and water quality measures are permitted within buffer areas.												
1.3	Where stream buffers are located within parks, or are subject to a public easement, the buffer shall count towards overall park acreage.												

29.3.2 General – applicable to a Plat and subsequent related applications only

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Development within Buffer	1.1	The following shall be added as a Plat Note: “Where the stream buffer is located within private property, buffers shall be protected through deed restrictions.”	Guiding Principle Objectives: 3.2 V, VI, VIII; 4.2 IV, VI, VII, VIII; 5.2 VII. Code Purpose: 29.2 I, II, III, IV, V, VI.
	1.2	The following shall be added as a Plat Note: “Roads, facilities, structures and improvements such as sidewalks, paths, trails, trailheads, park identification and way finding signage, seating, picnic tables, drinking fountains, pet drinking fountains, trash receptacles, pet waste receptacles, shade structures, outlooks, retaining walls, public utilities, stormwater management facilities and water quality measures are permitted within stream buffer areas unless otherwise restricted by applicable new ordinances. All other development within a buffer area shall be prohibited.”	



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Development within Buffer (cont'd)	1.3	Where stream buffers are located within parks, or are subject to a public easement, the buffer shall count towards overall park acreage.	
Construction	2.1	The following shall be added as a Plat Note: "Before the commencement of any construction activity to the stream buffer, the buffer area shall be identified and protected by the installation of a temporary 4 ft. polyether barrier fence, or similar barrier as approved by the City Engineer, along the full common boundary with the buffer area. The barrier shall be maintained in good condition until construction is complete at which time the barrier shall be removed."	Guiding Principle Objectives: 3.2 V, VI, VIII; 4.2 IV, VI, VII, VIII; 5.2 VII. Code Purpose: 29.2 I.

29.3.3 General – applicable to Building Permit and Site Plan applications only

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Development within Buffers	1.1	The following shall be added as a Site Plan Note: "Facilities, structures and improvements such as sidewalks, paths, trails, trailheads, park identification and way finding signage, seating, picnic tables, drinking fountains, pet drinking fountains, trash receptacles, pet waste receptacles, shade structures, outlooks, retaining walls, public utilities, stormwater management facilities and water quality measures are permitted within stream buffer areas unless otherwise restricted by applicable new ordinances. All other development within a buffer area shall be prohibited."	Guiding Principle Objectives: 3.2 V, VII, VIII; 4.2 IV, VI, VII, VIII; 5.2 VII. Code Purpose: 29.2 I, II, III, IV, V, VI.
Construction	2.1	The following shall be added as a Site Plan Note: "Before the commencement of any construction activity to the stream buffer, the buffer area shall be identified and protected by the installation of a temporary 4 ft. polyether barrier fence, or similar barrier as approved by the City Engineer, along the full common boundary with the buffer area. The barrier shall be maintained in good condition until construction is complete at which time the barrier shall be removed."	Guiding Principle Objectives: 3.2 V, VI, VIII; 4.2 IV, VI, VII, VIII; 5.2 VII. Code Purpose: 29.2 I.



30 Town Center Frame Overlay Code

30.1 Applicability

This Code applies in the assessment of all applications within the Town Center Frame Overlay.

30.2 Purpose

The purpose of this Code is to:

- I. Ensure the Guiding Principles and Planning Area Objectives are met; and
- II. Ensure development within the Town Center Frame Overlay is transitions in scale, intensity and appearance between the Town Center Planning Area and adjoining areas.

30.3 Development Standards

The applicable application shall comply with the minimum development standards of this Code unless superseded by approved alternative development standards. Where there is a conflict between this Code and other codes, such a conflict is to be resolved in accordance with Figure 2-2.

30.3.1 Site Planning

		MINIMUM DEVELOPMENT STANDARD	ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Maximum Building Height	1.1	<i>Within 100' of the Town Center Planning Area: 65 ft.</i> <i>Within 100' of the Neighborhood (Mixed Density) Residential Planning Area: 45 ft.</i> <i>All other areas: 55 ft.</i> Where these buffers overlay, the most restrictive standard shall apply.	Guiding Principle Objectives: 3.2 II; 5.2 IV; 7.2 II, III. Code Purpose: 30.2 I, II.



PART I

GENERAL CODES



31 Landscaping & Lighting Code

31.1 Applicability

This Code applies in the assessment of all applications within the project.

31.2 Purpose

The purpose of this Code is to:

- I. Ensure the Guiding Principles and Planning Area Objectives are met.
- II. Create aesthetically pleasing, safe and functional environments for people to live, work, visit and invest.
- III. Contribute to the legibility and character of the project.
- IV. Integrate stormwater and water quality BMP facilities into landscape design.
- V. Provide attractive streetscapes that reinforce the functions of a street and enhance the amenity of buildings.
- VI. Ensure that landscaping is a functional part of development design.

31.3 Development Standards

The applicable application shall comply with the minimum development standards of this Code unless superseded by approved alternative development standards. Where there is a conflict between this Code and other codes, such a conflict is to be resolved in accordance with Figure 2-2.



31.3.1 Landscaping – General

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
General	1.1	A Landscape Plan, prepared in accordance with Appendix 1, Section 1.9 shall be submitted as part of a Building Permit/Site Plan application.	Guiding Principle Objectives: 3.2 IX; 4.2 III; 5.2 II. Code Purpose: 31.2 I, II, III, VI.
	1.2	The following shall be added as a Landscape Plan Note: Grass seed, sod and other material shall be clean and reasonably free of weeds and noxious pests and insects.	
	1.3	Grass areas shall be sodded, plugged, sprigged, hydro-mulched or seeded, except that solid sod or other erosion control devices identified in the <i>TCEQ Erosion Control Manual</i> , shall be used in swales, earthen berms or other areas subject to erosion.	
	1.4	Ground covers shall be planted in such a manner as to present a finished appearance.	
	1.5	Earthen berms shall have side slopes not to exceed 33 percent (3 ft. of horizontal distance for each one foot of vertical height).	
	1.6	All new trees shall be provided with a permeable surface of 60 sq. ft. under the average growth drip line of the species.	
	1.7	Plantings shall consist of permeable surface areas only. The permeable surface area of shrubs may be included within the permeable surface area required for trees.	
	1.8	Each tree and shrub shall be planted at least 30 in. from the edge of any impervious surface.	
Plant Materials	2.1	Standards for planting shall conform to the latest standards of <i>ANSI A300 Best Management Practices for Tree Planting</i> , <i>ANSI A300 Transplanting Standard</i> and <i>ANSI Z60.1 American Standards for Nursery Stock and Bid Specifications</i> .	Guiding Principle Objectives: 3.2 IX; 4.2 III; 5.2 II. Code Purpose: 31.2 I, VI.
Preferred Species	3.1	Where 1 – 20 trees and shrubs are required by this Code, no more than 50 percent of the trees shall be of the same species. Where more than 20 trees and shrubs are required, no more than 25 percent of the trees shall be of the same species.	Guiding Principle Objectives: 3.2 IX; 4.2 III; 5.2 II. Code Purpose: 31.2 I, II, III, VI.
	3.2	All planting species shall be selected from the approved plant list in Appendix 5.	



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Irrigation	4.1	<p>An irrigation system shall be required when:</p> <ul style="list-style-type: none"> a landscaped area of 1,500 sq. ft. or greater; more than 5 trees are required to be planted; or a lot with more than 4,300 sq. ft. of proposed impervious cover. <p>Irrigation shall not be required for turfed areas, undisturbed natural areas or for established vegetation.</p>	<p>Guiding Principle Objectives: 3.2 IX; 4.2 III; 5.2 II.</p> <p>Code Purpose: 31.2 I, VI.</p>
	4.2	<p>Where irrigation is required, one of the following irrigation methods shall be utilized:</p> <ul style="list-style-type: none"> conventional system: an automatic or underground irrigation system that may be conventional spray or bubbler type head; drop or link pipe system: an automatic or underground irrigation system in conjunction with a water saving system such as a drop or leaky-pipe system; or temporary or above ground watering: landscaped areas utilizing xeriscape plants and installation techniques, including areas planted with native grasses, wildflowers and trees may use temporary and above ground system. 	
	4.3	If an irrigation system is not required, a hose bib shall be installed within 60 ft. of the newly installed plant material.	
	4.4	Irrigation systems shall comply with the <i>Landscape Irrigation Code</i> of the City's Building Code.	
Plantings in Easements	5.1	No small trees shall be planted within 10 lateral ft. of any overhead utility wire or within 8 lateral ft. of any utility pole.	<p>Guiding Principle Objectives: 3.2 IX; 4.2 III; 5.2 II.</p> <p>Code Purpose: 31.2 I, II, III, VI.</p>
	5.2	No medium tree shall be planted within 20 lateral ft. of any overhead utility wire or utility pole.	
	5.3	No large tree shall be planted within 30 lateral ft. of any overhead utility wire or utility pole.	
	5.4	Shrubs may be planted within utility easements provided no shrub is planted over or within 5 lateral ft. of any underground water line, sewer line, electric line or other utility.	
	5.5	Shrubs shall not be planted within 5 ft. of the flow line of a swale. Trees and other plantings may be planted within utility easements, including stormwater BMP facilities, provided that they are of a species adaptable to the nature of the easement, and in the case of public utility easements, provided that NBU approves the location of the proposed tree plantings.	



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Street Trees	6.1	<p>A minimum of one 4 in. diameter tree per 40 ft. of street frontage (excluding alleys) or part thereof shall be required.</p> <p>Trees shall be placed a minimum of 30' or a maximum of 50' apart from other street trees.</p> <p>Note: For the purpose of this Standard, the street frontage calculation shall exclude any portion of street frontage with a vehicular or pedestrian rail that acts as a barrier to a drainage feature directly adjoining the ROW (including but not limited to bridges, culverts or drainage improvements).</p>	<p>Guiding Principle Objectives: 3.2 IX; 4.2 III; 5.2 II; 7.2 I.</p> <p>Code Purpose: 31.2 I, II, III, V, VI.</p>
	6.2	Street trees shall be located within the furnished zone and offset a minimum of 4 ft. from the street curb face. If placement of street trees within the ROW interferes with utility easements or lines, trees may be planted within the front yard setback of the lot adjoining the sidewalk.	
Sight Distance and Visibility	7.1	To ensure that landscape materials do not constitute a driving and pedestrian hazard, a sight distance triangle shall be observed at all street intersections, all street and accessway intersections, street and alley intersections, and intersections of driveways with streets. Within the sight distance triangle, no landscape material, wall, or other obstruction shall be permitted between the heights of 2.5 – 7 ft. above the street, alley or driveway elevation. The sight distance triangle shall comply with AASHTO A Policy on Geometric Design of Highways and Streets Section 9.5 Intersection Sight Distance.	<p>Guiding Principle Objectives: 3.2 VI, IX; 4.2 III; 5.2 II; 7.2 I.</p> <p>Code Purpose: 31.2 I, II, III, V, VI.</p>
Subdivision & Neighborhood Identification Signs	8.1	Landscaping of subdivision and neighborhood identification signs shall comply with Section 33.3.2, Development Standards 7.1 – 7.5.	<p>Guiding Principle Objectives: 3.2 IX; 4.2 III; 5.2 II.</p> <p>Code Purpose: 31.2 I, II, III, V, VI.</p>



31.3.2 Landscaping – applicable to Non-Residential and Multi-Family Dwelling Uses only

		MINIMUM DEVELOPMENT STANDARD	ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Parking Perimeter Landscape Buffer Area	1.1	<p>All parking areas fronting streets or accessway, shall provide:</p> <ul style="list-style-type: none"> a minimum 5 ft. wide landscaped area along the street or accessway frontage; screening at least 3 ft. in height and not less than 50 percent opaque, to be reached within three growing seasons; and a minimum one 4 in. diameter tree for every linear 40 ft., or part thereof, of parking area frontage. <p>Where a buffer is also required in accordance with Development Standards 4.1 below, this Development Standard shall be satisfied through compliance with Development Standard 4.1.</p>	<p>Guiding Principle Objectives: 3.2 IX; 4.2 III; 5.2 II; 7.2 I.</p> <p>Code Purpose: 31.2 I, II, III, V, VI.</p>
	1.2	Trees do not need to be evenly spaced, however shall be planted a minimum of 20 ft. and a maximum of 120 ft. apart.	
	1.3	All landscaped areas shall be bordered by a concrete curb a minimum of 5 in. high or wheel stops where adjacent to the parking surface.	
Internal Parking Area Shading	2.1	<p>A minimum of 4 in. diameter tree per 6 parking spaces shall be planted in planting beds located in the corners of parking lots and 'islands'. Such spaces may also include architectural features such as benches, kiosks or bicycle parking.</p> <p>All landscaped areas shall be bordered by a concrete curb a minimum of 5 in. high or wheel stops where adjacent to the parking surface.</p>	<p>Guiding Principle Objectives: 3.2 IX; 4.2 III; 5.2 II.</p> <p>Code Purpose: 31.2 I, II, III, VI.</p>
Front Setback Landscape Area	3.1	<p>Within the front setback yard, the following shall be provided:</p> <ul style="list-style-type: none"> a minimum one 4 in. diameter tree for every linear 40 ft., or part thereof, of street frontage (excluding alleys) of which at least 50 percent of the trees shall be shade trees. Trees shall not be planted within the front 10' of a utility easement space as measured from the front property line at the street ROW. Trees shall not be planted within 5' of electric service laterals; and a minimum of one shrub for every linear 10 ft., of part thereof, of street frontage (excluding alleys). <p>Landscaping shall be located to emphasize building entrances and pedestrian access points.</p> <p>Where a buffer is also required in accordance with Development Standards 1.1 above, this Development Standard shall be satisfied through compliance with Development Standard 1.1.</p> <p>Note:</p> <p>This Development Standard is not applicable to any building that is built to the front lot line.</p>	<p>Guiding Principle Objectives: 3.2 IX; 4.2 III; 5.2 II; 7.2 I.</p> <p>Code Purpose: 31.2 I, II, III, V, VI.</p>



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Front Setback Landscape Area (cont'd)	3.2	Trees shall be planted a minimum of 20 ft. apart and a maximum of 120 ft. apart.	
	3.3	Trees and shrubs do not need to be evenly spaced, however shall be planted to provide the highest level of health for the tree.	
Residential Buffer	4.1	Where a non-residential lot abuts a lot within the Neighborhood (Mixed Density) Residential Planning Area, the following shall be provided: <ul style="list-style-type: none"> a 6 ft. – 8 ft. masonry wall along the common lot line; a minimum 5 ft. wide landscaped area along the common lot line; a minimum one 4 in. diameter tree for every linear 25 ft., or part thereof, of common lot line frontage. a minimum of one 24 in. high shrub for every linear 5 ft. of common lot line. Plantings may be clustered within the landscape area. 	Guiding Principle Objectives: 3.2 IX; 4.2 III; 5.2 II. Code Purpose: 31.2 I, II, III, VI.
	4.2	Trees shall be planted a minimum of 20 ft. and a maximum of 120' apart.	
Drive-thru Restaurants	5.1	Drive-thru restaurant screening shall be provided in accordance with §144-5.2 of the Code of Ordinances.	Guiding Principle Objectives: 3.2 IX; 4.2 III; 5.2 II. Code Purpose: 31.2 I, II, III, VI.
Screening	6.1	All service entrances, loading areas, refuse and outdoor storage areas, antennas, satellite dishes and mechanical equipment visible from adjoining residential uses or street shall adhere to all setback standards, unless otherwise set forth, and be screened. Screening shall be provided by either a solid masonry fence, solid vegetation or a combination of both, with a minimum height of 6 ft., or of a height sufficient to obscure the area or equipment requiring screening, whichever is less. The height of plants shall be based on reaching their size at maturity within five growing seasons.	Guiding Principle Objectives: 3.2 IX; 4.2 III; 5.2 II. Code Purpose: 31.2 I, II, III, VI.
Turf	7.1	No more than 30 percent of the planting beds, not including detention ponds, shall be turf grasses. Buffalo and prairie grasses are exempt from this restriction. Xeriscaping is preferred and shall not be prohibited.	Guiding Principle Objectives: 3.2 IX; 4.2 III; 5.2 II. Code Purpose: 31.2 I, II, III, VI.



31.3.3 Landscaping – applicable to Single-Family Dwelling Uses only

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD
Front Setback Landscape Area	1.1	Within the front setback yard, the following shall be provided: <ul style="list-style-type: none">a minimum one 4 in. diameter tree for every linear 40 ft., or part thereof, of street frontage (excluding alleys) of which at least 50 percent of the trees shall be shade trees. Trees shall not be planted within the front 10 ft. of a utility easement space as measured from the front property line at the street ROW. Trees shall not be planted within 5 ft. of electric service laterals;a minimum of one shrub for every linear 10 ft., of part thereof, of street frontage (excluding alleys).Where an existing high value tree is being retained within the front setback yard, the retention of each tree shall be considered as providing a 4 in. diameter tree as required above.	Guiding Principle Objectives: 3.2 IX; 4.2 III; 5.2 II; 7.2 I. Code Purpose: 31.2 I, II, III, V, VI.
	1.2	Trees shall be planted a minimum of 20 ft. apart.	
	1.3	Trees and shrubs do not need to be evenly spaced, however shall be planted to provide the highest level of health for the tree.	
Turf	2.1	No more than 30 percent of the planting beds, not including detention ponds, shall be turf grasses. Buffalo and prairie grasses are exempt from this restriction. Xeriscaping is preferred and shall not be prohibited.	Guiding Principle Objectives: 3.2 IX; 4.2 III; 5.2 II. Code Purpose: 31.2 I, II, III, VI.
Service Areas	3.1	Trash receptacle shall be located in the rear yard.	Guiding Principle Objectives: 3.2 IX; 4.2 III; 5.2 II. Code Purpose: 31.2 I, II, III, VI.

31.3.4 Maintenance

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Over Streetside	1.1	No tree, shrub, vine, palm or any similar plant of any description or kind shall be grown, maintained or cultivated in such a manner that any portion of such tree, shrub, vine, palm, or other plant may overhang or obtrude upon or over the streetside, unless there is a 8 ft. clearance between the surface of all portions of such sidewalk or ROW and the overhanging tree, limb, shrub, vine, palm or plant of any description or kind.	Guiding Principle Objectives: 3.2 VI, IX; 4.2 III; 5.2 II. Code Purpose: 31.2 I, VI.



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Over ROW Pavement	2.1	No tree, shrub, vine, palm or any similar plant of any description or kind shall be grown, maintained or cultivated in such a manner that any portion of such tree, shrub, vine, palm, or other plant may overhang or obstruct upon or over any street, unless there is a full 16 ft. clearance between the surface of all portions of such street and the overhanging tree, limb, shrub, vine, palm or plant.	Guiding Principle Objectives: 3.2 VI, IX; 4.2 III; 5.2 II. Code Purpose: 31.2 I, VI.
Near Fire Hydrants	3.1	No tree, shrub, vine, palm, hedge or any similar plant of any description or kind shall be planted, cultivated, grown or permitted to be planted, cultivated or grown between the sidewalk and/or public ROW and the curb or ditch line on any street at a lesser distance than 10 ft. from any fire hydrant in the City.	Guiding Principle Objectives: 3.2 VI, IX; 4.2 III; 5.2 II. Code Purpose: 31.2 I, VI.

31.3.5 Fences

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Maximum Height of a Fence or Wall	1.1	<i>Front yard, side yard or rear yard abutting a park, accessway, green ribbon or other street:</i> 36 in. where less than 50 percent transparency or 54 in. where 50 percent or greater transparency. <i>Side yard or rear yard not abutting a park, accessway, green ribbon or other street:</i> 8 ft.	Guiding Principle Objectives: 3.2 VI, IX; 4.2 III; 5.2 II. Code Purpose: 31.2 I, II, III, V, VI.
	1.2	Ornamental features may be placed on top of the screening fence or wall so long as the features obstruct less than 50 percent of the opening on top of the fence or wall.	
Fences within Public Easements	2.1	Fences within a public easement shall have a gate or removable panel to allow for maintenance access to such easement.	Guiding Principle Objectives: 8.2 I. Code Purpose: 31.2 I, VI.
	2.2	The entity responsible for the public easement shall approve the fence.	
Fences within Drainage Easements	3.1	No fence shall transverse a drainage easement.	Guiding Principle Objectives: 8.2 1. Code Purpose: 31.2 I, IV, VI.

31.3.6 Outdoor Lighting

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
General	1.1	Outdoor floodlighting by floodlight projection above the horizontal is prohibited except for lamps specifically exempted under Minimum Development Standards 1.11 and 1.17 below and properly adjusted motion sensing security lighting fixtures.	Guiding Principle Objectives: 4.2 XI. Code Purpose: 31.2 I, II, VI.



MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
General (cont'd)	<p>1.2 All light fixtures which are required to be shielded shall be installed in such a manner that the shielding complies with the definition of fully shielded fixtures.</p> <p>1.3 All light fixtures, including security lighting, except street lamps, shall be aimed or shielded so that the direct illumination shall be confined to the property boundaries of the source.</p> <p>Direct illumination shall not fall onto or across any public or private street. Motion sensing lighting fixtures shall be properly adjusted, according to the manufacturer's instructions, to turn off when detected motion ceases.</p> <p>1.4 No mercury vapor light fixtures or replacement equipment other than bulbs shall be installed for use as outdoor lighting.</p> <p>1.5 Search lights, laser source lights, strobe or flashing lights, motion or illusion lights or any similar high-intensity light shall not be permitted, except in emergencies by police and fire personnel at their direction or as required for temporary lighting.</p> <p>Does not include movie projection in conjunction with 'movies in the park' or an approved special event permit.</p> <p>1.6 Class 1 lighting, including but not limited to, sales, service, commercial, assembly, repair, maintenance, and industrial areas, may only continue in operation until 10:00 p.m., or for as long as the area is in active use.</p> <p>1.7 Class 2 lighting shall have no time restrictions except as otherwise set forth in this Code.</p> <p>1.8 Class 3 lighting, except for flagpole lighting, should be extinguished after 10:00 p.m. or when the business closes, whichever is later, except that low-wattage holiday decorations may remain on all night from November 1 to January 30.</p> <p>1.9 Multi-class lighting, except for security lights, shall conform to the time limitations of the strictest class.</p> <p>1.10 Except as permitted in Development Standards 1.11-1.13 below, total outdoor light output, excluding streetlights used for illumination of public ROW, of any development shall not exceed 100,000 lumens per net acre, averaged over the entire Lot.</p> <p>Lamps in unshielded fixtures, as permitted by Development Standard 1.17 below, shall account for no more than 5,500 lumens per net acre.</p>	



MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
General (cont'd)	<p>1.11 Lighting, in all cases, for all outdoor athletic fields, courts, tracks or ranges shall be considered class 1.</p> <p>When the proposed lumens per acre exceeds the limits of Development Standard 1.10 above, the installation shall be designed to achieve no greater than the minimum luminance levels for the activity as recommended by the IESNA.</p> <p>The installation shall also limit off-site spill (off the lot containing the sports facility) to a maximum of 0.5 fc at any location on any non-residential use, and 0.05 fc at any location on any residential use, as measurable from any orientation of the measuring device.</p> <p>Every such lighting system design shall be certified by a state registered engineer as conforming to all applicable restrictions of this Code.</p> <p>For any Plat containing a park lot, the following shall be added as a Plat Note:</p> <p>“All events requiring illumination shall be scheduled so as to complete all activity by 10:00 p.m., unless otherwise approved.”</p> <p>For any Site Plan for a park or outdoor recreational use, the following shall be added as a Site Plan Note:</p> <p>“All events requiring illumination shall be scheduled so as to complete all activity by 10:00 p.m., unless otherwise approved.”</p> <p>Fully shielded lighting shall be required for fields designed for amateur, recreational or nonprofessional sports activity.</p> <p>For professional level sports facilities where fully shielded fixtures are not utilized, acceptable luminaries shall include those which:</p> <ul style="list-style-type: none">▪ are provided with internal or external glare control louvers, or both, and installed so as to minimize up light and off-site light trespass as required in Minimum Development Standard 1.10; and▪ are installed and maintained with aiming angles that permit no greater than two percent of the light emitted by each fixture to project above the horizontal.	



MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
General (cont'd)	1.12	<p>Lighting for outdoor display lots shall be considered Class 1 and shall conform to the lumens per acre limits of Development Standard 1.10 above except where such lighting utilizes fully shielded luminaries that are installed in a fashion that maintains the fully shielded characteristics.</p> <p>When the proposed lumens per acre exceed the limits of Development Standard 1.10 above, the installation shall be designed to achieve no greater than the minimum luminance levels for the activity as recommended by the IESNA.</p> <p>The installation shall also limit off-site spill (off the lot containing the display lot) to a maximum of 0.5 fc at any location on any non-residential use, and 0.05 fc at any location on any residential use, as measurable from any orientation of the measuring device.</p> <p>Every such lighting system design shall be certified by a state registered engineer as conforming to all applicable restrictions of this Code.</p> <p>Outdoor display lot lighting exceeding the lumens per acre cap of Development Standard 1.10 above shall be turned off at 10:00 p.m. or within 30 minutes after closing of the business or activity whichever is later.</p> <p>Lighting in the outdoor display lot after this time shall be limited to Class 2 lighting and shall conform to all restrictions of this Code applicable for this class, including the lumens per acre caps in Development Standard 1.10 above.</p>
	1.13	<p>Lighting for service station or similar canopies shall be considered class 1 lighting.</p> <p>All luminaries shall be flush with the lower surface of canopies and utilize flat glass or plastic covers.</p> <p>The total light output used for illuminating service station canopies, defined as the sum of under canopy initial bare-lamp outputs in lumens, shall not exceed 40 lumens per square foot of canopy.</p> <p>All lighting mounted under the canopy except internally illuminated signs, shall be included in the total.</p> <p>50 percent of the lumen output of all lamps mounted within or under a canopy, except internally illuminated signs, is included in the lumen caps in Development Standard 1.10 above.</p>
	1.14	<p>Lighting used for all externally illuminated signs shall conform to all standards of this Code and shall be fully shielded.</p>
	1.15	<p>All site lighting not directly associated with the special uses shall conform to all lighting standards described in this Code.</p>



MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
General (cont'd)	1.16	<p>Outdoor internally illuminated advertising signs shall either be constructed with an opaque background and translucent letters and symbols or with a colored (not white, cream, off-white, yellow or other light color) translucent background, with either translucent or opaque letters and symbols.</p> <p>Opaque means only that the material shall not transmit light from the internal illumination source; the color of such opaque backgrounds is not restricted by this Code.</p> <p>Lamps used for internal illumination of such signs shall not be included in the lumens per net acre limit set in Development Standard 1.10 above.</p>
	1.17	<p>The requirements for lamp source and shielding of light emissions for outdoor light fixtures are in accordance with Table 31-1.</p>
Parking Areas	2.1	<p>Lighting poles shall be sized in such a manner that the top of any luminary does not exceed 30 ft. above adjacent grade.</p> <p>Guiding Principle Objectives: 4.2 XI. Code Purpose: 31.2 I, II, VI.</p>
Infrared Security Lighting	3.1	<p>Such lighting is permitted in all planning areas with the following restrictions:</p> <ul style="list-style-type: none">fixed lights shall be fully shielded.moveable lights, such as spotlights attached to infrared-sensitive cameras, shall be mounted such that the lights cannot be directed higher than 20 degrees below the horizontal, measured from the center of the light beam. <p>Guiding Principle Objectives: 4.2 XI. Code Purpose: 31.2 I, II, VI.</p>

Table 31-1 Requirements for Lamp Source and Shielding of Light Emissions for Outdoor Light Fixtures

LAMP TYPE	SHIELDING
Class 1, 2 and 3 lighting:	
All lamp types 2,050 lumens and below	<p>Allowed, unshielded.</p> <p>Examples of lamp types of 2,050 lumens and below (the acceptability of a particular light is decided by its lumen output, not wattage. Check manufacturer's specifications):</p> <ul style="list-style-type: none"> 100 watt standard incandescent and less. 100 watt midbreak tungsten-halogen (quartz) and less. 25 watt T-12 cool white fluorescent and less. 18 watt low pressure sodium and less.
All types above 2,050 lumens	<p>Allowed, fully shielded.</p> <p>Lights shall be shielded whenever feasible to minimize light spilled into the night sky or adjacent properties. Unshielded lights (all types) are limited to a maximum of 5,500 lumens per net acre. Residential uses and development containing one net acre or less are allowed 5,500 lumens of unshielded light (all Classes).</p>
All neon tube lighting	Allowed, unshielded.
Lamps in motion sensing security lights	Allowed, fully shielded.

31.3.7 Streetlights

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
General	1.1	<p>Pedestrian-scale streetlights shall be placed 88 ft. on center along all major roadways or accessways.</p> <p>Streetlights shall be setback a minimum 11 ft. from all utility poles and the centerline of trees.</p>	<p>Guiding Principle Objectives: 3.2 VI, 4.2 XI.</p> <p>Code Purpose: 31.2 I, II, III, V VI.</p>
	1.2	Streetlights shall be located within the centerline of the furnishing zone.	
	1.3	Street lighting shall have no light emitted above 90 degrees.	
	1.4	Pedestrian-scale streetlights shall be installed to maintain a luminance of 0.6 footcandles on accessways.	



32 Parking, Access and Servicing Code

32.1 Applicability

This Code applies in the assessment of all applications within the project.

32.2 Purpose

The purpose of this Code is to:

- I. Ensure the Guiding Principles and Planning Area Objectives are met.
- II. Ensure vehicle access and parking is convenient for residents, visitors and service providers.
- III. Ensure on-street parking, surface parking lots and parking structures are screened from streets and other public areas by buildings and/or landscaping.
- IV. Utilize shared parking between uses that require peak parking at different periods of time to reduce overall parking requirements; and

32.3 Development Standards

The applicable application shall comply with the minimum development standards of this Code unless superseded by approved alternative development standards. Where there is a conflict between this Code and other codes, such a conflict is to be resolved in accordance with Figure 2-2.



32.3.1 General

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Parking Areas	1.1	Off Street parking shall be on the same lot as the uses it is intended to serve, or where part of a cohesive development utilizes a common off-site parking facility intended to serve the broader development. Cross-access easements shall be provided where shared parking will occur. On-street visitor parking on minor roadways shall be permitted where dedicated parking spaces are identified as part of an approved Plat.	Guiding Principle Objectives: 7.2 I. Code Purpose: 32.2 I, II.
Orientation of Garage Doors	2.1	Garage-style roll-up doors associated with vehicular access shall not face public roads.	Guiding Principle Objectives: 3.2 IX; 5.2 VII; 7.2 I. Code Purpose: 32.2 I, III.
	2.2	Garage doors associated with non-residential uses, including service entrances and loading areas, shall not face a neighborhood.	
	2.3	When used, garage doors associated with non-residential uses shall be screened from adjacent properties and street view.	
Valet Parking	3.1	Valet parking shall comply with §144-5.1 of the Code of Ordinances.	Guiding Principle Objectives: 7.2 I. Code Purpose: 32.2 I, II.
Minimum Dimensions	4.1	Minimum dimensions and specifications for off-street parking areas and parking spaces shall comply with §144-5.1 of the Code of Ordinances.	Guiding Principle Objectives: 7.2 I. Code Purpose: 32.2 I, II.
Construction & Maintenance	5.1	Construction and maintenance of off-street parking areas shall comply with §144-5.1 of the Code of Ordinances.	Guiding Principle Objectives: 7.2 I. Code Purpose: 32.2 I.

32.3.2 General – applicable to the Town Center Planning Area only

Reserved.

32.3.3 General – applicable to the Large Format Retail Planning Sub Area only

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Siting of Parking Areas	1.1	Parking shall be located on the side or rear of buildings, to allow buildings to define the edge of streets.	Guiding Principle Objectives: 3.2 IV, VI; 7.2 I. Planning Area Objectives: 9.2.1 IV, V, XI.
	1.2	Off-street parking shall not abut more than 50 percent of the principal street frontage.	Code Purpose: 16.2 I, II, III, IV, V; 32.2 I, II, III.



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Service Entrances and Loading Areas	2.1	All buildings shall have a dedicated service entrance and loading area. These areas shall be located on the same lot as the land uses it is intended to serve. Common or shared service entrances and loading areas are permitted. The loading, unloading and stockpiling of goods outside of dedicated loading areas is prohibited.	Guiding Principle Objectives: 3.2 IV, VI; 7.2 I. Planning Area Objectives: 9.2.1 IV, V, XI. Code Purpose: 16.2 I, II, III, IV, V; 32.2 I, II, III.
	2.2	Service entrances and loading areas shall be located at the rear of buildings. Where it is not practical or functional for service entrances and loading areas to be located at the rear of a building, they may be located in an alternative location that is visually concealed from public view.	
	2.3	All service entrances and loading areas that are visible from a ROW, civic space or other public common area, or pedestrian accessway shall be screened with a minimum 6 ft. high wall constructed of materials, colors and finishes that are complementary to the main building. Gates and openings shall also utilize complementary materials, colors and finishes. Landscaping and vegetation is also encouraged.	
	2.4	Loading areas shall be separated from parking areas and pedestrian accessways.	
	2.5	Where buildings share a common loading area, an adequate access aisle shall be provided between the respective service entrances that does not interfere with parking areas or pedestrian accessways.	
Driveway Access	3.1	Driveway access shall be provided in accordance with §114-98 of the Code of Ordinances and Table 13-1.	Guiding Principle Objectives: 3.2 IV, VI; 7.2 I. Planning Area Objectives: 9.2.1 IV, V, XI. Code Purpose: 16.2 I, II, III, IV, V; 32.2 I, II, III.
	3.2	Major driveway approaches with peak hour trips greater than 100 PHT shall be shared between different property owners or tenants when necessary to maintain minimum spacing required by Table 13-1.	
Internal Circulation	4.1	Surface parking areas shall be separated into cells of 400 ft. or less, in accordance with Figure 13-6.	Guiding Principle Objectives: 3.2 IV, VI; 7.2 I. Planning Area Objectives: 9.2.1 IV, V, XI. Code Purpose: 16.2 I, II, III, IV, V; 32.2 I, II, III.
	4.2	Direct access to service entrances and loading areas shall be provided, while minimizing movement through parking areas.	
	4.3	Parking cells shall be separated by a dedicated pedestrian and bicycle accessway, which connects to the nearest internal accessways required by Section 16.3.2 Development Standard 2.1 Note: Refer also to Figure 13-6.	



MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Internal Circulation (cont'd)	4.4	Accessways required by Development Standard 4.3 above, shall have a minimum width of 10 ft. and provide: <ul style="list-style-type: none">▪ Entry points that are reinforced with landscape and hardscape; and▪ a continuous tree canopy at maturity or architectural cover providing shade and weather protection for pedestrian and cyclists – refer to Figure 32-1. Compliance with this Development Standard shall be taken as complying with the landscaping requirements of Section 16.3.2 Development Standard 2.4.
	4.5	Easements are created over vehicular, bicycle and pedestrian accessways to provide connectivity in parking and pedestrian areas to abutting lots on the same block.

32.3.4 General – applicable to the Mixed Use Employment Planning Sub Area only

MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Siting of Parking Areas	1.1	Parking shall be located on the side or rear of buildings, to allow buildings to define the edge of streets. Guiding Principle Objectives: 7.2 I. Planning Area Objectives: 9.2.1 IV, V, XVI.
	1.2	Off-street parking shall not abut more than 50 percent of the principal street frontage. Code Purpose: 32.2 I, II, III.
Service Entrances and Loading Areas	2.1	Loading areas shall be located on the same lot as the land uses it is intended to serve. Guiding Principle Objectives: 7.2 I. Planning Area Objectives: 9.2.1 IV, V, XVI.
	2.2	Service entrances and loading areas shall be located to the rear of buildings. Code Purpose: 32.2 I, II, III.
	2.3	Loading areas shall be separated from parking areas and pedestrian accessways.
Driveway Access	3.1	Driveway access shall be provided in accordance with §114-98 of the Code of Ordinances and Table 13-1. Guiding Principle Objectives: 7.2 I. Planning Area Objectives: 9.2.1 IV, V, XVI.
	3.2	Major driveway approaches with peak hour trips greater than 100 PHT shall be shared between different property owners or tenants when necessary to maintain minimum spacing required by Table 13-1. Code Purpose: 32.2 I, II.



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Internal Circulation	4.1	Surface parking areas shall be separated into cells of 400 ft. or less.	Guiding Principle Objectives: 3.2 VI; 7.2 I. Planning Area Objectives: 9.2.1 IV, V, XVI. Code Purpose: 32.2 I, II.
	4.2	Direct access to service entrances and loading areas shall be provided, while minimizing movement through parking areas.	
	4.3	Parking cells shall be separated by a dedicated accessway, which connects to the internal accessway required by Section 17.3.2 Development Standard 2.1 – refer to Figure 13-6.	
	4.4	Accessways required by Development Standard 4.3 above, shall have a minimum width of 6 ft. and provide a continuous tree canopy at maturity or architectural cover providing shade and weather protection for pedestrian and cyclists – refer to Figure 32-1. Compliance with this Development Standard shall be taken as complying with the landscaping requirements of Section 17.3.2, Development Standard 2.4.	
	4.5	Easements are created over vehicular, bicycle and pedestrian accessways to provide connectivity in parking and pedestrian areas to abutting lots on the same block.	

32.3.5 General – applicable to the Neighborhood Center Planning Area only

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Siting of Parking Areas	1.1	Parking is encouraged to be located on the side or rear of buildings, to allow buildings to define the edge of streets. A maximum of two head-in parking rows may be permitted fronting the principal street frontage.	Guiding Principle Objectives: 3.2 IV, VI; 7.2 I. Planning Area Objectives: 9.3.1 II, V, VI. Code Purpose: 18.2 I, II, III, IV, V; 32.2 I, II, III.
	2.1	Loading areas shall be located on the same lot as the land uses it is intended to serve. Common or shared service entrances and loading areas are permitted. The loading, unloading and stockpiling of goods outside of dedicated loading areas is prohibited.	
Service Entrances and Loading Areas	2.2	Service entrances and loading areas shall be located to the rear of buildings.	Guiding Principle Objectives: 3.2 IV, VI; 7.2 I. Planning Area Objectives: 9.3.1 II, V, VI. Code Purpose: 18.2 I, II, III, IV, V; 32.2 I, II, III.
	2.3	Loading areas shall be separated from parking areas and pedestrian accessways.	



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Driveway Access	3.1	Driveway access shall be provided in accordance with §114-98 of the Code of Ordinances and Table 13-1.	Guiding Principle Objectives: 3.2 IV, VI; 7.2 I. Planning Area Objectives: 9.3.1 II, V, VI. Code Purpose: 18.2 I, II, III, IV, V; 32.2 I, II, III.
	3.2	Major driveway approaches with peak hour trips greater than 100 PHT shall be shared between different property owners or tenants when necessary to maintain minimum spacing required by Table 13-1.	
Internal Circulation	4.1	Surface parking areas shall be separated into cells of 400 ft. or less.	Guiding Principle Objectives: 3.2 IV, VI; 7.2 I. Planning Area Objectives: 9.3.1 II, V, VI. Code Purpose: 18.2 I, II, III, IV, V; 32.2 I, II, III.
	4.2	Direct access to service entrances and loading areas shall be provided, while minimizing movement through parking areas.	
	4.3	Parking cells shall be separated by a dedicated accessway, which connects to the internal accessway required by Section 18.3.2 Development Standard 2.1 – refer to Figure 13-6.	
	4.4	Accessways required by Development Standard 4.3 above, shall have a minimum width of 6 ft. and provide a continuous tree canopy at maturity or architectural cover providing shade and weather protection for pedestrian and cyclists – refer to Figure 32-1. Compliance with this Development Standard shall be taken as complying with the landscaping requirements of Section 18.3.2 Development Standard 2.4.	
	4.5	Easements are created over vehicular, bicycle and pedestrian accessways to provide connectivity in parking and pedestrian areas to abutting lots on the same block.	

32.3.6 General – applicable to the Resort Planning Area only

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Siting of Parking Areas	1.1	Parking is encouraged to be located on the side or rear of buildings, to allow buildings to define the edge of streets. A maximum of two head-in parking rows may be permitted fronting the principal street frontage.	Guiding Principle Objectives: 3.2 VI; 7.2 I. Planning Area Objectives: 9.4.1 I, IV. Code Purpose: 32.2 II, III.
Service Entrances and Loading Areas	2.1	Loading areas shall be located on the same lot as the land uses it is intended to serve. Common or shared service entrances and loading areas are permitted. The loading, unloading and stockpiling of goods outside of dedicated loading areas is prohibited.	Guiding Principle Objectives: 3.2 VI; 7.2 I. Planning Area Objectives: 9.4.1 I, IV. Code Purpose: 32.2 II, III.
	2.2	Service entrances and loading areas shall be located to the rear of buildings.	
	2.3	Loading areas shall be separated from parking areas and pedestrian accessways.	



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Driveway Access	3.1	Driveway access shall be provided in accordance with Table 13-1.	Guiding Principle Objectives: 3.2 VI; 7.2 I.
	3.2	Major driveway approaches with peak hour trips greater than 100 PHT shall be shared between different property owners or tenants when necessary to maintain minimum spacing required by Table 13-1.	Planning Area Objectives: 9.4.1 I, IV. Code Purpose: 32.2 II, III.
Internal Circulation	4.1	Surface parking areas shall be separated into cells of 400 ft. or less.	Guiding Principle Objectives: 3.2 VI; 7.2 I.
	4.2	Access to service entrances and loading areas shall be provided, while minimizing movement through parking areas.	Planning Area Objectives: 9.4.1 I, IV. Code Purpose: 32.2 II, III.
	4.3	Parking cells shall be separated by a dedicated accessway, which connects to the internal accessway required by Section 19.3.2 Development Standard 1.1 – refer to Figure 13-6.	
	4.4	Accessways required by Development Standard 4.3 above, shall have a minimum width of 4 ft. and provide a continuous tree canopy at maturity or architectural cover providing shade and weather protection for pedestrian and cyclists – refer to Figure 32-1.	
	4.5	Easements are created over vehicular, bicycle and pedestrian accessways to provide connectivity in parking and pedestrian areas to abutting lots on the same block.	

32.3.7 General – applicable to Single-Family Dwelling Uses only

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Driveway Access	1.1	Maximum one driveway per dwelling.	Guiding Principle Objectives: 7.2 I.
	1.2	Shared driveways may be provided. Note: An application shall not be denied or rejected based on the Applicants decision not to provide shared driveways.	Code Purpose: 32.2 I, II.
	1.3	Driveways shall be a minimum of 12 ft. wide and shall not exceed a width of 24 ft.	



32.3.8 General – applicable to Multi-Family Dwelling Uses only

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Siting of Parking Areas	1.1	Parking shall be either: <ul style="list-style-type: none">integrated within the building;sleeved by the building façade; orlocated to the rear of a building.	Guiding Principle Objectives: 7.2 I. Code Purpose: 32.2 I, II, III.
Service Entrances and Loading Areas	2.1	Service entrances and loading areas shall be either: <ul style="list-style-type: none">integrated within the building;sleeved by the building façade; orlocated to the rear of a building.	Guiding Principle Objectives: 7.2 I. Code Purpose: 32.2 I, II, III.

32.3.9 Parking Ratio

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Minimum Parking Ratio	1.1	For any building or use identified in Table 32-1, no less than the number of parking spaces set forth in Table 32-1 shall be provided.	Guiding Principle Objectives: 7.2 I. Code Purpose: 32.2 I, II.
	1.2	<p>Where a land use is not identified in Table 32-1, the Planning Director shall determine the applicable parking ratio.</p> <p>Note:</p> <p>Where more than one land use exists on the same site, or in the same building, the portion of such site or building devoted to each land use shall be used in computing the number of off-street parking spaces required for each a land use. For such site or building, the total requirements for off-street parking spaces shall be the sum of the requirements of the various land uses computed separately. The off-street parking space for one use shall not be considered as providing the required off-street parking space for another use, unless herein set forth.</p> <p>When the requirement for each individual land use is computed, fractions shall be counted at their actual value. When units of measurements determining the total number of required off-street parking spaces result in a requirement of a fractional space, any fraction less than one-half shall be disregarded. Any fraction of one-half or greater shall require one off-street parking space.</p> <p>Where the parking ratio variable identified in Table 32-1 is the number of employees, the parking requirements shall be based on the largest shift rather than the total number of employees.</p> <p>Where the parking ratio variable identified in Table 32-1 is square footage, the square footage shall not include any of the exclusions listed in the definition of GFA in this DDCCD.</p>	



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Maximum Parking Ratio	2.1	<p>The maximum number of off-street parking spaces for any building or use shall not exceed 125 percent of the minimum number of parking spaces as identified in Table 32-1, not including accessible spaces.</p> <p>Multi-story parking structures and pervious pavement shall not be subject to maximum parking requirements.</p>	<p>Guiding Principle Objectives: 7.2 I.</p> <p>Code Purpose: 32.2 I, II, IV.</p>
Shared Parking	3.1	<p>Cohesive developments which contain a mix of uses may reduce the amount of required parking in accordance with the following methodology:</p> <ul style="list-style-type: none">▪ Determine the minimum parking requirements in accordance with Table 32-1 for each land use as if it were a separate use.▪ Multiply each amount by the corresponding percentages for each of the 5 time periods set forth in columns A – E of Table 32-3.▪ Calculate the total for each time period.▪ Select the total with the highest value as the required minimum number of parking spaces.	<p>Guiding Principle Objectives: 7.2 I.</p> <p>Code Purpose: 32.2 I, II, IV.</p>



Table 32-1 Minimum Parking Ratio

LAND USE	MINIMUM PARKING RATIO
RESIDENTIAL	
Accessory Structure	None
Assisted Living Facility or Elderly Housing	1 space per four employees 1 space per four patient beds 1 space per staff doctor
Dwelling, accessory	1 per accessory dwelling provided addition to the principal dwelling
Dwelling, HUD code-manufactured	2
Dwelling, industrialized	2
Dwelling, multi-family	1.5 space per one-bedroom unit 2 space per two-bedroom unit 0.5 space per each additional bedroom 0.75 space per dwelling unit provided exclusively for low income elderly occupancy
Dwelling, short term rental	2
Dwelling, single-family attached (duplex)	2
Dwelling, single-family attached (townhouse)	2
Dwelling, single-family detached	2
Dwelling, single-family detached (cluster)	2
Dwelling, single-family detached (zero-lot line)	2
Family Home (Child Care or Adult Care)	1 space per two employees or staff members, 1 space per five children/adults for which the facility is licensed by the state
Group Home	1 space per four employees 1 space per four patient beds 1 space per staff doctor
Home Occupation	1 space per nonresident employee (if there is one) provided addition to the principal dwelling



LAND USE	MINIMUM PARKING RATIO
NON-RESIDENTIAL	
Accommodation	
Bed and Breakfast	1 space per guest room
Boarding House	1 space per two person the establishment is designed to house 1 space per three employees
Dormitory	1 space per two persons the establishment is designed to house 1 space per three employees
Hospice Residential Care Facility	1 space per four employees 1 space per four patient beds 1 space per staff doctor
Hotel/Resort	1.1 space per bedroom
Retail	
Agricultural Equipment and Supply Retail Establishment	1 space per 400 sq. ft. GFA
Animal Grooming Service	1 space per 400 sq. ft. GFA
Auction House	1 space per 400 sq. ft. GFA
Automobile Dealership	1 space per 400 sq. ft. GFA
Automobile Detailing Shop	1 space per 400 sq. ft. GFA
Automobile Parts Store	1 space per 400 sq. ft. GFA
Automobile Repair Services Establishment	3 spaces per service bay
Bar/Nightclub/Tavern	1 space per four seats for patron use, or 1 space per 100 sq. ft. GFA, whichever is greater
Barber Shop/Beauty Salon	1 space per 200 sq. ft. GFA
Café/Coffee House	1 space per 100 sq. ft. GFA
Car Wash	3 stacking spaces per approach lane, plus 2 drying spaces per stall
Catering Service	1 space per 300 sq. ft. GFA
Convenience Store	1 space per 200 sq. ft. GFA
Department Store	1 space per 200 sq. ft. GFA
Drug Store/Pharmacy	1 space per 300 sq. ft. GFA
Dry Cleaning Establishment	1 space per 300 sq. ft. GFA



LAND USE	MINIMUM PARKING RATIO
Farmer's Market	1 space per 400 sq. ft. GFA
Laundromat	1 space per 300 sq. ft. GFA
Liquor Store	1 space per 300 sq. ft. GFA
Mobile Food Trailer	2 spaces per Trailer
Restaurant	1 space per four seats for patron use, or 1 space per 100 sq. ft. GFA, whichever is greater
Restaurant, drive in	1 space per 4 seats for patron use, or 1 space per 100 sq. ft. GFA, whichever is greater
Retail Establishment	1 space per 400 sq. ft. GFA
Retail Establishment, bulk goods	1 space per 400 sq. ft. GFA
Shopping Center	1 space per 200 sq. ft. GFA
Supermarket, with gasoline sales	1 space per 200 sq. ft. GFA
Supermarket, without gasoline sales	1 space per 200 sq. ft. GFA
Tattoo Parlor/Body Piercing Studio	1 space per 300 sq. ft. GFA
Temporary Vendor	None
Business	
Broadcasting/Production Studio/Communication Service	1 space per 400 sq. ft. GFA
Check Cashing Service	1 space per 200 sq. ft. GFA
Financial Institution	1 space per 200 sq. ft. GFA
Office	1 space per 300 sq. ft. GFA
Research and Development Facility	1 space per 1,000 sq. ft. GFA
Veterinary Clinic	1 space per 300 sq. ft. GFA
Civic, Health & Education	
Cemetery/Columbarium/Crematorium/Mausoleum	1 space per 400 sq. ft. GFA
Club	1 space per 200 sq. ft. GFA
College/University (public or private)	1 space per two teachers and members of the technical and administrative staff 1 space per four additional persons employed on the premises 1 space per five students capacity not residing on campus



LAND USE	MINIMUM PARKING RATIO
Day Care Center (Child or Adult)	1 space per two employees or staff members 1 space per five children/adults for which the facility is licensed by the state
Public Safety Facility	1 space per vehicular operated in connection with the use 2 spaces per 3 employees
Funeral Home/Mortuary	1 space per 400 sq. ft. GFA
Hospital/Health Care Facility	1 space per four employees 1 space per four patient beds 1 space per staff doctor
Medical Facility	1 space per 300 sq. ft. GFA
Religious Institution	1 space per 400 sq. ft. GFA
Sanatorium	1 space per 4 employees 1 space per 4 patient beds 1 space per staff doctor
School, K-12 (public or private)	<i>Kindergarten:</i> 1 space per 2 employees or staff members 1 space per 5 children for which the facility is licensed by the state <i>Elementary/Middle School:</i> 1 space per 2 teachers 1 space per 2 (public, parochial, private) persons employed on the premises 1 space per bus if kept at the school <i>High School:</i> 1 space per 2 teachers 1 space per 2 (public, parochial, private) persons employed on the premises 1 space per 10 enrolled students 1 space per bus if kept at the school
School, vocational	1 space per 2 teachers and members of the technical and administrative staff 1 space per 4 additional persons employed on the premises 1 space per 5 students capacity not residing on campus



LAND USE	MINIMUM PARKING RATIO
Arts, Entertainment & Recreation	
Amphitheater	1 space per 5 seats or 1 space per 40 sq. ft. GFA where no permanent seating is provided
Amusement Arcade	1 space per 200 sq. ft. GFA
Amusement Park	3 space per 1,000 sq. ft. GFA 2 space per 1,000 sq. ft. GFA
Archery Range	1 space per shooting point
Athletic Field	20 spaces per field
Cabin	1 space for per sleeping room 1 space per two employees
Camp, day or youth	1 space per employee 1 space per camp vehicle parked on premises 5 visitor spaces
Campground	1 space per campsite 1 space per employee
Community Facility	1 space per 400 sq. ft. GFA
Conference/Convention Center	1 space per 200 sq. ft. GFA, or 1 space per four seats, or 1 space per three persons of total building occupancy, whichever is greater
Dance Hall	1 space per four seats for patron use, or 1 space per 100 sq. ft. GFA, whichever is greater
Driving Range	1 space per 400 sq. ft. GFA
Fairground/Festival Ground	1 space per 600 sq. ft. of outdoor recreation area 1 space per 400 sq. ft. of indoor recreation area
Golf Course	4 spaces per hole
Golf Course, miniature	1 space per 600 sq. ft. of outdoor recreation area 1 space per 400 sq. ft. of indoor recreation area
Indoor Shooting Range	1 space per 6 seats or 1 space per 30 sq. ft. GFA if no permanent seating is proposed
Museum	1 space per 400 sq. ft. GFA
Park	In accordance with Table 32-2.
Recreation Establishment, commercial indoor	1 space per 400 sq. ft. of GFA



LAND USE	MINIMUM PARKING RATIO
Recreation Establishment, commercial outdoor	1 space per 600 sq. ft. of outdoor recreation area 1 space per 400 sq. ft. of indoor recreation area
Recreation Facility, private	In accordance with Table 32-2.
Recreation Facility, public	In accordance with Table 32-2.
Recreation Vehicle (RV) Park	1 space per site
Rodeo Ground	1 space per 6 seats or 1 space per 30 sq. ft. GFA if no permanent seating is proposed
Studio (art, dance, music, drama, reducing, photography)	1 space per 200 sq. ft. GFA
Theater, motion or performing arts	1 space per 5 seats for patron use
Tuber Entrance and Exit Facility	None
Waterfront Amusement Facility, berthing facilities sales and rentals	<i>Resort Planning Area:</i> no additional parking is required where ancillary to a hotel/resort use. <i>All other Planning Areas:</i> as determined by the City Engineer in the same reasonable manner as similarly situated areas of the City.
Waterfront Amusement Facility, boat fuel storage/dispensing facilities	<i>Resort Planning Area:</i> no additional parking is required where ancillary to a hotel/resort use. <i>All other Planning Areas:</i> as determined by the City Engineer in the same reasonable manner as similarly situated areas of the City.
Waterfront Amusement Facility, boat landing piers/launching ramps	<i>Resort Planning Area:</i> no additional parking is required where ancillary to a hotel/resort use. <i>All other Planning Areas:</i> as determined by the City Engineer in the same reasonable manner as similarly situated areas of the City.
Waterfront Amusement Facility, swimming/wading pools/bathhouses	<i>Resort Planning Area:</i> no additional parking is required where ancillary to a hotel/resort use. <i>All other Planning Areas:</i> as determined by the City Engineer in the same reasonable manner as similarly situated areas of the City.
Transportation & Utilities	
Airport	1 space per 4 seats in the passenger waiting area 1 space per 4 aircraft tie downs
Bus Lot	1 space per 400 sq. ft. GFA
Bus Terminal	1 space per 400 sq. ft. GFA
Freight Terminal	1 space per 400 sq. ft. GFA



PART I

Section 32 Parking, Access & Servicing Code

LAND USE	MINIMUM PARKING RATIO
Garage/Parking lot, commercial	None
Helipad/Helistop	2 spaces per pad site
School, automobile driving school	1 space per 200 sq. ft. GFA
Solid Waste Transfer Facility	1 space per employee
Taxi and Limousine Service	1 space per 300 sq. ft. GFA
Telecommunication Antenna/Tower	None
Construction	
Contractor's Office	1 space per 500 sq. ft. GFA
Temporary Real Estate Sales Office	1 space per 500 sq. ft. GFA
Mining & Extraction	
Mining & Extractive Industry	1 space per 1,000 sq. ft. GFA
Water Storage	1
Manufacturing & Wholesale Trade	
Brewery	1 space per employee 1 space per 4 seats in any tasting room or other visitor facility open the public
Manufacturing Establishment, chemicals, metals, machinery and electronics products	1 space per 1,000 sq. ft. GFA
Manufacturing Establishment, miscellaneous products	1 space per 1,000 sq. ft. GFA
Manufacturing Establishment, wood, paper and printing products	1 space per 1,000 sq. ft. GFA
Manufacturing Establishment, food, textiles and related products	1 space per 1,000 sq. ft. GFA
Microbrewery	1 space per employee 1 space per two seats in any tasting room or other visitor facility open the public
Self-Service Storage Facility	1 space per 600 sq. ft. GFA
Service Industry Establishment	1 space per 400 sq. ft. GFA
Warehouse, mini/self-storage facility	4 spaces or 1 space for 300 sq. ft. of service/retail area, whichever is greater
Wholesale Trade Establishment	1 space per 1,000 sq. ft. GFA
Agriculture	



LAND USE	MINIMUM PARKING RATIO
Agricultural Support Services	1 space per employee
Animal Husbandry	1 space per non-resident employee
Crop Production	1 space per non-resident employee
Farm	1 space per non-resident employee
Farm, ancillary building	None
Livestock Market	1 space per 500 sq. ft. GFA
Stockyard	1 space per 1,500 sq. ft. GFA
Other	
Sexually-Orientated Business	1 space per 300 sq. ft. GFA

Table 32-2 Park Use Parking Ratio

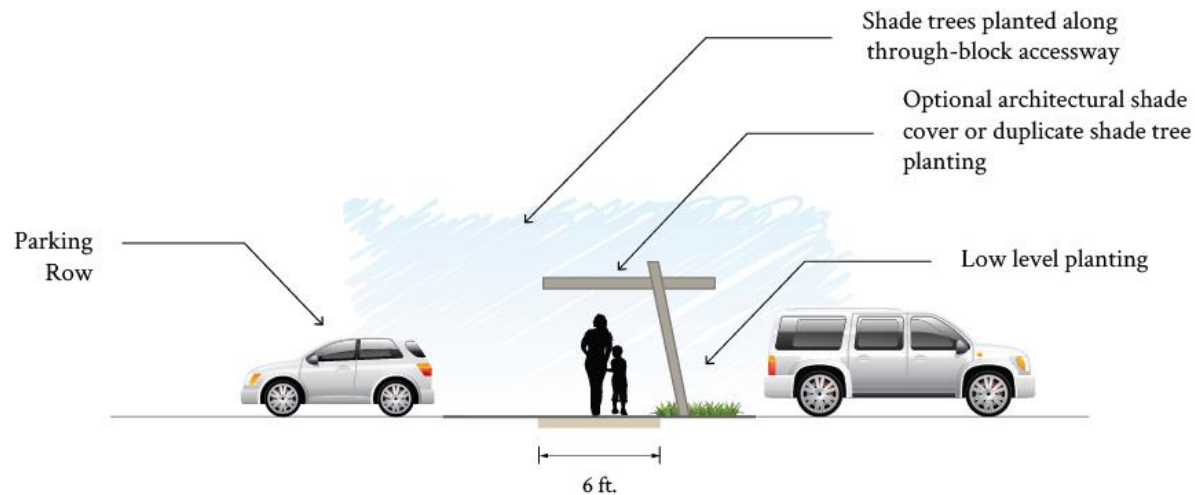
PARK IMPROVEMENT	MINIMUM PARKING RATIO
Baseball Field	25 spaces per field
Basketball Court	4 spaces per court
Major Trailhead	2 spaces per trailhead
Open Play Area	5 spaces per field
Pavilion	1 space per 400 sq. ft. of covered pavilion
Picnic Table	1 space per table
Playscape	3 spaces per area
Soccer Field	25 spaces per field
Swimming Pools	1 space per 600 sq. ft. of outdoor recreation area, and 1 space per 400 sq. ft. of indoor recreation area
Tennis Court	1 space per court
Volleyball Court	4 spaces per court

The provision of parking spaces for park uses is inclusive of formal on-street parking within 500 ft. of the boundary of the park.

Table 32-3 Shared Parking Schedule

LAND USE	WEEKDAY		WEEKEND		E. NIGHTTIME (MIDNIGHT - 6AM)
	A. DAYTIME (9AM - 4PM)	B. EVENING (6PM - MIDNIGHT)	C. DAYTIME (9AM - 4PM)	D. EVENING (6PM - MIDNIGHT)	
Office/ Industrial	100%	10%	10%	5%	5%
Retail	60%	90%	100%	70%	5%
Hotel/Resort	75%	100%	75%	100%	75%
Restaurant	50%	100%	100%	100%	10%
Entertainment/ Commercial	40%	100%	80%	100%	10%

Figure 32-1 Parking Area Accessway Section





33 Signage Code

33.1 Applicability

This Code applies in the assessment of all applications for a sign within the project.

33.2 Purpose

The purpose of this Code is to:

- I. Ensure the Guiding Principles and Planning Area Objectives are met.
- II. Encourage the effective use of signs as a means of communication within and abutting the project.
- III. To maintain and enhance the project's overall aesthetic environment and the Project's ability to attract sources of economic development and growth.
- IV. Improve pedestrian and traffic safety.
- V. Minimize the possible adverse effects of signage on nearby public and private property.
- VI. Enable effective outdoor advertising.

33.3 Development Standards

The applicable application shall comply with the minimum development standards of this Code unless superseded by approved alternative development standards. Where there is a conflict between this Code and other codes, such a conflict is to be resolved in accordance with Figure 2-2.

33.3.1 General

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Signs exempt from Regulation or Permits	1.1	In accordance with §106-10 of the Code of Ordinances unless otherwise provided for within this Code.	Guiding Principle Objectives: 3.2 IX; 5.2 I, VII; Code Purpose: 33.2 I, II, III, IV, VI, V.
Signs not requiring a permit	2.1	In accordance with §106-11 of the Code of Ordinances unless otherwise provided for within this Code.	Guiding Principle Objectives: 3.2 IX; 5.2 I, VII; Code Purpose: 33.2 I, II, III, IV, VI, V.
	2.2	<i>Wall signs only:</i> Wall signs shall not exceed 10 percent of the façade of the building upon which the sign is located.	
Prohibited Signs	3.1	In accordance with §106-11 of the Code of Ordinances unless otherwise provided for within this Code.	Guiding Principle Objectives: 3.2 IX; 5.2 I, VII; Code Purpose: 33.2 I, II, III, IV, VI, V.
Sign Lighting	4.1	Sign lighting shall comply with §106-12 of the Code of Ordinances.	Guiding Principle Objectives: 3.2 IX; 5.2 I, VII; Code Purpose: 33.2 I, II, III, IV, VI, V.
Off-Premise Signs	5.1	Off-premise signs shall comply with §106-13 of the Code of Ordinances.	Guiding Principle Objectives: 3.2 IX; 5.2 I, VII; Code Purpose: 33.2 I, II, III, IV, VI, V.
Temporary Signs	6.1	Temporary signs shall comply with §106-16 of the Code of Ordinances.	Guiding Principle Objectives: 3.2 IX; 5.2 I, VII; Code Purpose: 33.2 I, II, III, IV, VI, V.
Temporary Street Banners	7.1	Temporary street banners shall comply with §106-17 of the Code of Ordinances.	Guiding Principle Objectives: 3.2 IX; 5.2 I, VII; Code Purpose: 33.2 I, II, III, IV, VI, V.
Sign Construction and Maintenance	8.1	Sign construction and maintenance shall comply with §106-18 of the Code of Ordinances.	Guiding Principle Objectives: 3.2 IX; 5.2 I, VII; Code Purpose: 33.2 I.

33.3.2 Permanent On-Premise Signs

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
General	1.1	A Signage Plan, prepared in accordance with Appendix 1, Section 1.14 shall be submitted as part of a Site Plan application.	Guiding Principle Objectives: 3.2 IX; 5.2 VII; Code Purpose: 33.2 I.
Dimension	2.1	Signage area is in accordance with Table 33-1.	Guiding Principle Objectives: 3.2 IX; 5.2 VII; Code Purpose: 33.2 I, II, III, IV, VI, V.
Minimum Setbacks	3.1	Minimum setbacks are in accordance with Table 33-1.	Guiding Principle Objectives: 3.2 IX; 5.2 VII; Code Purpose: 33.2 I, II, III, IV, VI, V.
Number of Signs	4.1	The maximum number of signs per lot is in accordance with Table 33-1.	Guiding Principle Objectives: 3.2 IX; 5.2 VII; Code Purpose: 33.2 I, II, III, IV, VI, V.



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Sign Illumination	5.1	A spotlight on a sign or exterior lighting of a sign shall be concealed from view and oriented away from adjacent properties and roadways.	Guiding Principle Objectives: 3.2 IX; 5.2 VII; Code Purpose: 33.2 I, II, III, IV, VI, V.
	5.2	Internal lighting of signs is prohibited, except for the internal lighting of individual letters or lighting associated with an Electronic Message Sign.	
Freestanding Monument Signs & Low Profile Pole Signs	6.1	Signs shall only have two sign faces.	Guiding Principle Objectives: 3.2 IX; 5.2 VII; Code Purpose: 33.2 I, II, III, IV, VI, V.
	6.2	Signage structures shall use one or more of the same external materials as a least one of the buildings on the same lot as the signage structure.	
	6.3	Signage structures located on the same lot shall be spaced a minimum of 100 ft. apart from other freestanding signs for which a permit is required.	
	6.4	Cohesive developments shall share a sign structure. Such sign structures shall comply with the following: <ul style="list-style-type: none">the lot/s involved shall be contiguous to one another, and constitute a single cohesive development;the sign/s shall be located on a lot that one of the advertised businesses occupies;private streets within the boundaries of the development are treated as public ROW for purposes of determining allowable signage;individual pad or lease sites, defined in an approved Site Plan, are treated as separate lots for the purpose of determining allowable signage; andbusinesses shall not be allowed advertising on both the multiple tenant (shared) sign and another freestanding business identification sign unless otherwise allowed herein.	
	6.5	In addition to signage that would otherwise be allowed on a lot for business identification purposes, one additional freestanding monument sign not exceeding 5 ft. in height and 32 sq. ft. in area may be located at each intersection of public roadways (excluding along SH Loop 337) and/or private roadways for purposes of directing traffic to various areas and businesses within the development. Such signage shall be located outside the sight distance triangle – refer to Section 31.3.1 Development Standard 7.1.	
	6.6	Street numbers shall be identified on signage structures.	
	6.7	Street names shall be identified on signage structures if deemed necessary by the fire marshal.	



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Subdivision & Neighborhood Identification Signs	7.1	For each external access point into the project, not more than two permanent subdivision identification signs, being monument sign or a sign on a screening or decorative wall, with a combined signage area of not more than 80 sq. ft. are permitted. The signage area of each individual sign shall not exceed 40 sq. ft.	Guiding Principle Objectives: 3.2 IX; 5.2 VII; Code Purpose: 33.2 I, II, III, IV, VI, V.
	7.2	For each principal entry point into a neighborhood as identified on an approved Sector Plan, one permanent neighborhood identification sign, being monument sign, or a sign on a screening or decorative wall, with a signage area of not more than 64 sq. ft. is permitted.	
	7.3	Subdivision and neighborhood identification signs shall be constructed of masonry, stone, brick, wood or other material/s compatible with the surrounding development.	
	7.4	Subdivision and neighborhood entry signs shall be: <ul style="list-style-type: none"> ▪ setback a minimum of 5 ft. from the lot line; ▪ located outside the required sight distance triangle – refer to Section 31.3.1 Development Standard 7.1. ▪ located outside any drainage easement; and ▪ located outside any ROW. 	
	7.5	Subdivision and neighborhood entry signs shall provide landscaped area equal to twice the area of the sign face, providing one five-gallon shrub for every 10 sq. ft. of landscaped area.	
Municipal Wayfinding Signs only	8.1	Municipal wayfinding signage shall comply with §106-13(b) of the Code of Ordinances.	Guiding Principle Objectives: 3.2 IX; 5.2 I, VII; Code Purpose: 33.2 I, II, III, IV, VI, V.
Project Wayfinding Signs only	9.1	Project wayfinding signs shall comply with §106-13(b) of the Code of Ordinances.	Guiding Principle Objectives: 3.2 IX; 5.2 I, VII; Code Purpose: 33.2 I, II, III, IV, VI, V.
Landmark Signs	10.1	Landmark signs shall comply with §106-14 of the Code of Ordinances.	Guiding Principle Objectives: 3.2 IX; 5.2 I, VII; Code Purpose: 33.2 I, II, III, IV, VI, V.
Government Flags	11.1	Government flags shall comply with §106-14 of the Code of Ordinances.	Guiding Principle Objectives: 3.2 IX; 5.2 I, VII; Code Purpose: 33.2 I, II, III, IV, VI, V.
Billboard Signs and High Profile Monument Signs	12.1	Billboards and high profile monument signs shall be prohibited.	Guiding Principle Objectives: 3.2 IX; 5.2 VII; Code Purpose: 33.2 I, II, III, IV, VI, V.
Electronic Message Sign	13.1	Electronic message signs shall comply with §106-14 of the Code of Ordinances unless otherwise provided for within this Code.	Guiding Principle Objectives: 3.2 IX; 5.2 VII; Code Purpose: 33.2 I, II, III, IV, VI, V.
	13.2	Electronic message signs shall only be permitted within the Mixed Commercial & Business Planning Area or where associated within sporting or athletic facilities of a school or college/university use.	



Table 33-1 Signage Dimension, Setbacks and Frequency

PLANNING AREA	SIGN TYPE	MAXIMUM AREA PER SIGN FACE	MAXIMUM HEIGHT	MIN. SETBACK	MAXIMUM SIGNS PER LOT
Town Center Planning Area, Mixed Commercial & Business Planning Area	Freestanding Monument Sign	48 sq. ft. For multi-tenant signs with four or more businesses/tenants, a maximum of 16 sq. ft. per tenant, with a total maximum sign face of 64 sq. ft.	10 ft.	5 ft.	1 per frontage, unless otherwise provided for in this Code.
	Low Profile Pole Sign	20 sq. ft.	10 ft.	5 ft.	1 per frontage, unless otherwise provided for in this Code.
	Flag/Flag Pole	40 sq. ft.	25 ft.	5 ft.	—
	Electronic Message Sign	40 sq. ft.	10 ft.	5 ft.	1 per frontage, unless otherwise provided for in this Code.
Neighborhood Center Planning Area	Freestanding Monument Sign	32 sq. ft. For multi-tenant signs with four or more businesses/tenants, a maximum of 16 sq. ft. per tenant, with a total maximum sign face of 64 sq. ft.	8 ft.	6 ft.	1 per frontage, unless otherwise provided for in this Code.
	Low Profile Pole Sign	20 sq. ft.	6 ft.	6 ft.	1 per frontage, unless otherwise provided for in this Code.
	Flag/Flag Pole	40 sq. ft.	25 ft.	5 ft.	-
Resort Planning Area	Freestanding Monument Sign	48 sq. ft.	10 ft.	5 ft.	1 unless otherwise provided for in this Code.
	Low Profile Pole Sign	20 sq. ft.	10 ft.	5 ft.	1 unless otherwise provided for in this Code.
	Flag/Flag Pole	40 sq. ft.	25 ft.	5 ft.	-
High Density Residential Planning Area	Freestanding Monument Sign	32 sq. ft. For multi-tenant signs with four or more businesses/tenants, a maximum of 16 sq. ft. per tenant, with a total maximum sign face of 64 sq. ft.	8 ft.	5 ft.	1 per frontage, unless otherwise provided for in this Code.
	Low Profile Pole Sign	20 sq. ft.	6 ft.	5 ft.	1 per frontage, unless otherwise provided for in this Code.
	Flag/Flag Pole	40 sq. ft.	25 ft.	5 ft.	—



PART I

Section 33 Signage Code

PLANNING AREA	SIGN TYPE	MAXIMUM AREA PER SIGN FACE	MAXIMUM HEIGHT	MIN. SETBACK	MAXIMUM SIGNS PER LOT
Neighborhood (Mixed Density) Residential Planning Area	Freestanding Monument Sign/Low Profile Pole Sign	Not permitted	Not permitted	Not permitted	Not permitted
	Flag/Flag Pole	40 sq. ft.	25 ft.	5 ft.	—
Park Planning Area	Freestanding Monument Sign	32 sq. ft.	8 ft.	10 ft.	1
	Low Profile Pole Sign	Not permitted	Not permitted	Not permitted	Not permitted
	Flag/Flag Pole	40 sq. ft.	25 ft.	5 ft.	—
SH Loop 337 Frontage	Freestanding Monument Sign	64 sq. ft. For multi-tenant signs with four or more businesses/tenants, a maximum of 16 sq. ft. per tenant, with a total maximum sign face of 80 sq. ft.	12 ft.	12 ft.	1 per 300 ft of frontage, unless otherwise provided for in this Code.
	Low Profile Pole Sign	Not permitted	Not permitted	Not permitted	Not permitted
	Flag/Flag Pole	40 sq. ft.	25 ft.	5 ft.	—



34 Vegetation Protection Code

34.1 Applicability

This Code applies in the assessment of all applications within the project.

Exemption:

This Code does not preclude ongoing agricultural activities, including agricultural exempt tree clearing for ranch management purposes from continuing. This Code shall only take effect, and apply to the part of the project, on which a Sector Plan has been approved.

34.2 Purpose

The purpose of this Code:

- I. Ensure the Guiding Principles and Planning Area Objectives are met.
- II. Ensure that significant vegetation is identified and retained.
- III. Contribute to the legibility and character of the project.
- IV. Preserve riparian corridors and vegetation clusters and habitat areas.
- V. Encourage the retention of vegetation as an amenity resource.

34.3 Development Standards

The applicable application shall comply with the minimum development standards of this Code unless superseded by approved alternative development standards. Where there is a conflict between this Code and other codes, such a conflict is to be resolved in accordance with Figure 2-2.

34.3.1 General – Exemptions

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Exemptions	1.1	If either the Urban Forester or a certified arborist determines a high value tree to be causing danger or be in a hazardous condition due to a natural disaster such as a tornado, fire, storm, flood or other act of God that endangers public health, welfare or safety, the requirement of this Section shall be waived.	Guiding Principle Objectives: 3.2 V, VIII, IX; 4.2 II; 4.2 II, VII. Code Purpose: 34.2 I, II.
	1.2	If the Urban Forester or certified arborist determines, based on site inspection that a high value tree is already dead, dying or fatally diseased prior to starting a development, the provision of the mitigation requirement will not apply and such determination shall be provided in writing.	

34.3.2 General – applicable to Sector Plans and subsequent related applications

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Reporting	1.1	A Preliminary Tree Survey, prepared in accordance with Appendix 1, Section 1.10 shall be submitted as part of a Sector Plan application. A Preliminary Tree Survey shall not be required if a certified arborist confirms that no high value trees are located within that part of the project subject to the Sector Plan application.	Guiding Principle Objectives: 3.2 V, VIII, IX; 4.2 II; 4.2 II, VII. Code Purpose: 34.2 I, II.

34.3.3 General – applicable to Plats and subsequent related applications only

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Reporting	1.1	A Tree Survey, prepared in accordance with Appendix 1, Section 1.11 shall be submitted as part of a Plat application. A Tree Survey submitted as part of a Plat application shall only be considered accurate for 5 years. A Tree Survey shall not be required if a certified arborist confirms that no high value trees are located within that part of the Project subject to the Sector Plan application.	Guiding Principle Objectives: 3.2 V, VIII, IX; 4.2 II; 4.2 II, VII. Code Purpose: 34.2 I, II.
	1.2	A Tree Protection Plan and a Tree Replacement Plan, prepared in accordance with Appendix 1, Section 1.12 and 1.13 shall be submitted as part of a Plat application as it relates to ROW and public land.	



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Design Integration	2.1	<p>Where high value trees are retained within ROW, road design shall incorporate such trees within medians or the furnishing zone.</p> <p>High value trees are discouraged from being retained within traffic calming devices unless the road design speed is 35 miles per hour or less.</p> <p>The paved travelled way and accessways may meander to avoid high value trees.</p> <p>Note:</p> <p>An application shall not be denied or rejected based on the Applicants decision not meander the travelled way to avoid high value trees.</p>	<p>Guiding Principle Objectives: 3.2 V, VIII, IX; 4.2 II; 4.2 II, VII.</p> <p>Code Purpose: 34.2. I, II, III, IV, V.</p>

34.3.4 General – applicable to Building Permit and Site Plans applications only

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Reporting	1.1	A Tree Protection Plan and a Tree Replacement Plan, prepared in accordance with Appendix 1, Section 1.12 and 1.13 shall be submitted as part of a Site Plan/Building Permit application.	<p>Guiding Principle Objectives: 3.2 V, VIII, IX; 4.2 II; 4.2 II, VII.</p> <p>Code Purpose: 34.2 I, II.</p>
	1.2	A Tree Survey, Tree Protection Plan, and Tree Replacement Plan shall accompany all Building Permit applications to demonstrate compliance.	
Design Integration	2.1	Where high value trees are retained within parking lots, parking lot design shall incorporate such trees within landscape islands, peninsulas and medians.	<p>Guiding Principle Objectives: 3.2 V, VIII, IX; 4.2 II; 4.2 II, VII.</p> <p>Code Purpose: 34. I, II, III, IV, V.</p>
	2.2	<p>Where high value trees are retained within residential lots, either a building envelope shall be identified on a Final Plat or the following shall be added as a Site Plan Note:</p> <p>“No building shall be sited within the extent of a sensitive feature and associated buffer.</p> <p>For any lot which contains a high value tree, and a building envelope was not approved as part of a Final Plat, the location of a building envelope shall be approved by the Planning Director prior to a Building Permit being issued.”</p>	



34.3.5 Tree Mitigation – applicable to Plats and subsequent related applications only

MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Transplanting	1.1	High value trees may be transplanted to a suitable location internal to the project, as determined by the Urban Forester in the same reasonable manner as similarly situated areas of the City.	Guiding Principle Objectives: 3.2 V, VIII, IX; 4.2 II; 4.2 II, VII. Code Purpose: 34.2. I, III.
Mitigation for Removal of a High Value Tree	2.1	The removal of a high value tree shall require mitigation, which shall be achieved through replacement trees planted internal to the project, credit of existing high value trees to be retained on site or a combination thereof.	Guiding Principle Objectives: 3.2 V, VIII, IX; 4.2 II; 4.2 II, VII. Code Purpose: 34.2. I, III.
Mitigation Ratio	3.1	The calculation of determining the mitigation ratio shall be the total diameter of all high value trees for that category multiplied by the tree replacement ratio for that category as set forth in Table 34-1.	Guiding Principle Objectives: 3.2 V, VIII, IX; 4.2 II; 4.2 II, VII. Code Purpose: 34.2. I, III.
	3.2	Tree mitigation ratio applies to the diameter of the existing high value tree at DBH.	
Mitigation by On-Site Replacement Trees	4.1	All replacement trees shall be of any species listed in Appendix 5.	Guiding Principle Objectives: 3.2 V, VIII, IX; 4.2 II; 4.2 II, VII. Code Purpose: 34.2. I, III.
	4.2	Where a high value shade tree is removed, it shall be replaced by a shade tree species.	
	4.3	Within neighborhoods, where 1 – 20 replacement trees are required, no more than 30 percent of the trees shall be of the same species. Where more than 20 replacement trees are required, no more than 20 percent of the trees shall be of the same species.	
	4.4	Replacement trees may be located within street ROW, open space and park, common areas within the project or individual lots.	
	4.5	Each replacement tree shall be a minimum of 1.5 in. caliper when planted.	
	4.6	The following shall be added as a Plat Note: “Standards for plant materials shall conform to the standards of the latest edition of the <i>American National Standard A300 Planting and Transplanting Nursery Stock</i> published by the American Association of Nurserymen.”	
	4.7	The following shall be added as a Plat Note: “Tree replacement shall occur within 12 months of removal of the high value tree. Where a replacement tree does not survive for a period of at least 24 months, the original Applicant or current landowner shall replace the tree, preferably during October – February, until the tree survives a 12-month period.”	



MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Mitigation by On-Site Replacement Trees (cont'd)	4.8	Where replacement trees are proposed to be planted off-site but internal to the project, the Applicant or Master Developer may elect to pay a warranty to the City which shall be held in trust, until the replacement trees have been established for one year. As such time that the replacement trees are planted and determined healthy by the Urban Forester, the City shall return the warranty to the Applicant or Master Developer. If the replacement trees are not planted within 4 years, the City shall retain the warranty for the purpose of planting trees within the project's parks. The warranty shall be the greater of \$300 per caliper in. or the City's rate at the time Plat or Site Plan is submitted.
	4.9	Where the Applicant or Master Developer plants additional trees above the requirements of this DDCD, those additional plants shall be credited towards 50 percent of future replacement trees.
	4.10	No artificial plant materials may be used to satisfy the requirements of this Code.
Mitigation by On-Site Credit	5.1	Retained high value trees with a DBH greater than 8 in. are considered credit trees and may be credited towards the mitigation trees under this Section. When mitigation is to be met by on-site credit trees, the total inches shall be based on Table 34-2.
	5.2	Credit trees may apply to a maximum of 50 percent of the required mitigation for a high value tree category.
Mitigation by off-site tree replacement	6.1	Where it is determined by the Urban Forester, in the same reasonable manner as similarly situated areas of the City, that mitigation by on-site tree replacement within the project is not feasible or desirable e.g. planting capacity has been reached for the project, the number of replacement trees that would have otherwise been required to be planted on-site, may be planted within a City owned park or other publicly owned property (e.g. NBISD or Comal County) or pay fee in lieu as set forth in Table 34-1. Note: It is at the Applicant's election to either propose off-site tree mitigation or pay a fee in lieu.
Landscape Credit	7.1	Retained high value trees and replacement trees planted internal to the project for mitigation purposes may contribute up to 50 percent towards any landscaping requirement of this DDCD including, but not limited to street tree and green ribbon planting development standards.



MINIMUM DEVELOPMENT STANDARD			ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE																								
Construction	8.1	<p>The following shall be added as a Plat Note:</p> <p>“Should any tree designated for retention in an approved Tree Protection Plan die prior to, or within 12 months of the completion of construction works, the Applicant shall replace the dead tree with a replacement tree/s equal to the total caliper inches of the dead tree.</p> <p>No grading, trenching or equipment shall be conducted in the area identified in the root protection zone. All work to be performed by hand or under the supervision of a certified arborist.”</p>	Guiding Principle Objectives: 3.2 V, VIII, IX; 4.2 II; 4.2 II, VII. Code Purpose: 34.2. I, II.																								
	8.2	<p>Before construction or land development, 4 ft. high safety fencing shall be installed around the root protection zone of a high value tree that is to be retained.</p> <p>The root protection zone shall be determined as follows:</p> <ol style="list-style-type: none">1. Evaluate the species tolerance of the tree: good, moderate or poor.2. Identify tree age: young, mature or over mature.3. Based on species tolerance and tree age, determine the distance from the trunk that should be protected per inch of trunk diameter. <table><tr><th>SPECIES TOLERANCE</th><th>TREE AGE</th><th>DISTANCE FROM TRUNK FEET (PER IN. TRUNK DIAMETER)</th></tr><tr><td rowspan="3">Good</td><td>Young (<20% life expectancy)</td><td>0.5 ft.</td></tr><tr><td>Mature (20-80% life expectancy)</td><td>0.75 ft.</td></tr><tr><td>Over mature (>80% life expectancy)</td><td>1.0 ft.</td></tr><tr><td rowspan="3">Moderate</td><td>Young</td><td>0.75 ft.</td></tr><tr><td>Mature</td><td>1.0 ft.</td></tr><tr><td>Over mature</td><td>1.25 ft.</td></tr><tr><td rowspan="3">Poor</td><td>Young</td><td>1.0 ft.</td></tr><tr><td>Mature</td><td>1.25 ft.</td></tr><tr><td>Over mature</td><td>1.5 ft.</td></tr></table>	SPECIES TOLERANCE	TREE AGE	DISTANCE FROM TRUNK FEET (PER IN. TRUNK DIAMETER)	Good	Young (<20% life expectancy)	0.5 ft.	Mature (20-80% life expectancy)	0.75 ft.	Over mature (>80% life expectancy)	1.0 ft.	Moderate	Young	0.75 ft.	Mature	1.0 ft.	Over mature	1.25 ft.	Poor	Young	1.0 ft.	Mature	1.25 ft.	Over mature	1.5 ft.	
SPECIES TOLERANCE	TREE AGE	DISTANCE FROM TRUNK FEET (PER IN. TRUNK DIAMETER)																									
Good	Young (<20% life expectancy)	0.5 ft.																									
	Mature (20-80% life expectancy)	0.75 ft.																									
	Over mature (>80% life expectancy)	1.0 ft.																									
Moderate	Young	0.75 ft.																									
	Mature	1.0 ft.																									
	Over mature	1.25 ft.																									
Poor	Young	1.0 ft.																									
	Mature	1.25 ft.																									
	Over mature	1.5 ft.																									
		<ol style="list-style-type: none">4. Multiply the distance by the trunk diameter to calculate the optimum radius, in feet.5. The radial root protection zones of trees may overlap one another so that the area of protection required for one tree may be shared by the area of protection required for another tree to minimize the total square footage of protected area where possible.																									



MINIMUM DEVELOPMENT STANDARD		ALTERNATIVE DEVELOPMENT STANDARD GUIDANCE
Construction (cont'd)	8.3	<p>The following shall be added as a Plat Note:</p> <p>“During construction, the cleaning of equipment or materials and/or the disposal of any waste material, including, but not limited to paint, oil, solvents, asphalt, concrete, mortar, etc., under the canopy or drip line of any high value tree shall be prohibited.</p> <p>No grading, trenching or equipment shall be conducted or used in the area identified in the root protection zone. All work shall be performed by hand or under the supervision of a certified arborist.</p> <p>No attachments or wires of any kind, other than those of a protective nature, shall be attached to any high value tree.”</p>
	8.4	Grading or fill under the drip line of a high value tree shall be prohibited.

Table 34-1 Replacement Tree Calculation¹

DIAMETER OF HIGH VALUE TREE	REPLACEMENT REQUIREMENT	IN LIEU PAYMENT
0 in. – 7.99 in.	0 in. replacement	\$0
8 in. – 23.99 in.	1 in. replacement for every 1 in. removed	\$200 for every 1 in. removed
24 in. or greater	3 in. replacement for every 1 in. removed	\$300 for every 1 in. removed

¹ In the Neighborhood (Mixed Density) Residential Planning Area, an Applicant who removes one or more high value trees is entitled to a credit towards the tree replacement requirement of Section 34.3.5. The foregoing credit is expressed in credit inches and is equal to 30 percent of the total diameter inches of protected trees identified in the Tree Survey. The credit inches shall first be applied to the smallest diameter tree and then to the remainder of the trees in ascending order according to their diameter.

Table 34-2 Replacement Tree Credit Calculation

DIAMETER OF HIGH VALUE TREE	CREDIT TOWARDS TREE REQUIREMENT
0 in. to 7.99 in.	0 in. credit
8 in. or greater	1 in. credit for 1 in. of diameter of existing tree



PART J

APPENDICES



Appendix 1 Application Submittal Requirements

1.1 Master Framework Plan

The following information shall be identified on any amendment to the Master Framework Plan.

Size: Sheets 11 in. wide and 17 in. long.
May be shown over multiple sheets as needed.

Scale: Of a scale sufficient to determine detail.

	PLAN	COVER SHEET	REPORT
EXISTING CONDITIONS			
▪ City limits and ETJ limits.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Project boundary.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Existing and any approved abutting streets.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Existing and any approved stormwater management facilities and improvements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
DEVELOPMENT STATISTICS			
▪ Statement of the proposed gross acreage of each planning area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Statement of the proposed gross acreage of each planning area pod.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Statement of the proposed number of residential dwellings.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Statement of proposed minimum gross acreage of park.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Statement of proposed gross acreage of regional park.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Statement of proposed maximum impervious cover for the project.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PLANNING AREAS			
▪ Delineation of the:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
» Town Center Planning Area;			
» Large Format Retail Planning Sub Area;			
» Mixed Use Employment Planning Sub Area;			
» Resort Planning Area;			
» High Density Residential Planning Area;			
» Neighborhood (Mixed Density) Residential Planning Area;			
» Park Planning Area; and			
» activity nodes.			

	PLAN	COVER SHEET	REPORT
▪ Delineation of Planning Area Pods for the:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
» Town Center Planning Area;			
» Large Format Retail Planning Sub Area;			
» Mixed Use Employment Planning Sub Area;			
» Resort Planning Area;			
» High Density Residential Planning Area;			
» Neighborhood (Mixed Density) Residential Planning Area; and			
» Park Planning Area.			
THOROUGHFARES			
▪ Alignment of abutting road stub extensions.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location of external access points.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Alignment of major roadways.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Approximate alignment of major accessways.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
BUFFERS			
▪ 500 ft. buffer to all internal roadways.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ 1,000 ft. buffer to all activity nodes.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PARKS			
▪ Delineation of regional parks.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Conceptual location linear open space parks.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



1.2 Supporting Framework Plans

1.2.1 Development Pattern Supporting Framework Plan

The following information shall be identified on the Development Pattern Supporting Framework Plan.

Size: Sheets 11 in. wide and 17 in. long.
May be shown over multiple sheets as needed.

Scale: Of a scale sufficient to determine detail.

	PLAN	COVER SHEET	REPORT
EXISTING CONDITIONS			
▪ City limits and ETJ limits.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Project boundary.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Existing and any approved abutting streets.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Existing and any approved stormwater management facilities and improvements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PLANNING AREAS			
▪ Delineation of the:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
» Town Center Planning Area;			
» Large Format Retail Planning Sub Area;			
» Mixed Use Employment Planning Sub Area;			
» Resort Planning Area;			
» High Density Residential; and			
» Neighborhood (Mixed) Residential.			
▪ Conceptual location of:	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
» Neighborhood Center Planning Area;			
» community facilities; and			
» schools.			
THOROUGHFARES			
▪ Alignment of abutting road stub extensions.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location of external access points.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Alignment of major roadways.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Approximately alignment of major accessways.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PARKS			
▪ Delineation of regional parks.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Conceptual location of community parks, neighborhood parks and linear open space parks.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

1.2.2 Natural Environmental & Stewardship Supporting Framework Plan

The following information shall be identified on the Natural Environment & Stewardship Supporting Framework Plan.

Size: Sheets 11 in. wide and 17 in. long.
May be shown over multiple sheets as needed

Scale: Of a scale sufficient to determine detail.

	PLAN	COVER SHEET	REPORT
EXISTING CONDITIONS			
▪ City limits and ETJ limits.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Project boundary.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Existing and any approved abutting streets.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ FEMA 100-year floodplain.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ FEMA 500-year floodplain and floodway.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Dam breach zone boundary.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Identified streams.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ US jurisdictional waterways.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Existing and any approved stormwater management facilities and improvements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Potential golden checked warbler habitat or other protected species habitat.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Sensitive features and associated buffers (subject to TCEQ approval).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PLANNING AREAS			
▪ Delineation of the development footprint.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
DRAINAGE & WATER QUALITY			
▪ Approximate location of streams buffers.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



1.2.3 Community Identity, Health & Diversity Supporting Framework Plan

The following information shall be identified on the Community Identity, Health & Diversity Supporting Framework Plan.

Size: Sheets 11 in. wide and 17 in. long.
May be shown over multiple sheets as needed.

Scale: Of a scale sufficient to determine detail.

	PLAN	COVER SHEET	REPORT
EXISTING CONDITIONS			
▪ City limits and ETJ limits.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Project boundary.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Existing and any approved abutting streets.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Existing and any approved stormwater management facilities and improvements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PLANNING AREAS			
▪ Delineation of the development footprint.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Conceptual location of: » community facilities; and » schools.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ ¼ mile buffer from community facilities.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ ½ mile buffer from schools.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
THOROUGHFARES			
▪ Alignment of north-south and east-west principal arterial roads.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Alignment of abutting road stub extensions.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Approximately alignment of major accessways.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PARKS			
▪ Delineation of regional parks.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Conceptual location of community parks, neighborhood parks and linear open space parks.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ ½ mile buffers from regional parks.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ ¼ mile buffers from community parks and neighborhood parks.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

1.2.4 Economic Activity & Employment Center Supporting Framework Plan

The following information shall be identified on the Economic Activity & Employment Center Supporting Framework Plan.

Size: Sheets 11 in. wide and 17 in. long.
May be shown over multiple sheets as needed.

Scale: Of a scale sufficient to determine detail.

	PLAN	COVER SHEET	REPORT
EXISTING CONDITIONS			
▪ City limits and ETJ limits.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Project boundary.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Existing and any approved abutting streets.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PLANNING AREAS			
▪ Delineation of the: » Town Center Planning Area; » Mixed Commercial & Business Planning Area; and » Resort Planning Area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Conceptual location of the Neighborhood Center Planning Area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ ¼ mile buffers from: » Town Center Planning Area; » Mixed Commercial & Business Planning Area; » Neighborhood Center Planning Area; and » Resort Planning Area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ ½ mile buffers from the Town Center Planning Area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
THOROUGHFARES			
▪ Alignment of north-south and east-west principal arterial roads.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Alignment of abutting road stub extensions.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Approximately alignment of major accessways.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PARKS			
▪ Delineation of regional parks.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Conceptual park footprint.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



1.2.5 Access & Connectivity Supporting Framework Plan

The following information shall be identified on the Access & Connectivity Supporting Framework Plan.

Size: Sheets 11 in. wide and 17 in. long.
May be shown over multiple sheets as needed.

Scale: Of a scale sufficient to determine detail.

	PLAN	COVER SHEET	REPORT
EXISTING CONDITIONS			
▪ City limits and ETJ limits.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Project boundary.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Existing and any approved abutting streets.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PLANNING AREAS			
▪ Delineation of the: » Town Center Planning Area; » Large Format Retail Planning Sub Area; » Mixed Use Employment Planning Sub Area; » Resort Planning Area; » High Density Residential; and » Neighborhood (Mixed) Residential.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Conceptual location of: » Neighborhood Center Planning Area; » community facilities; and » schools.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
THOROUGHFARES			
▪ Alignment of north-south and east-west principal arterial roads.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Alignment of abutting road stub extensions.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location of external access points.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Alignment of major roadways.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Approximately alignment of major accessways.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PARKS			
▪ Delineation of regional parks.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Conceptual park footprint.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

1.2.6 Outstanding Development Standards for Specialized Areas and Continued Outstanding Development Standards for Specialized Areas

Outstanding Development Standards for Specialized Areas shall be submitted prior to the end of the third approval period, and any Continued Outstanding Development Standards for Specialized Areas shall be submitted as part of a Sector Plan application. When considering an Outstanding Development Standard for a Specialized Area, the Planning Commission and City Council should give due consideration to the Guiding Principles and Planning Area Objectives. Those Continued Outstanding Development Standards for Specialized Areas approved by the City Council shall only apply to the sectors in which the specialized areas exist.

- ▶ The submittal requirements for Outstanding Development Standards for Specialized Areas are set forth in the Development Agreement.
- ▶ The submittal requirements for Continued Outstanding Development Standards for Specialized Areas are set forth as Appendix 1, Section 1.2.6.

Development Standards for Specialized Areas Informative Plan

When submitting Outstanding Development Standards for Specialized Areas, the following shall be submitted for the purpose of demonstrating the application of the proposed standards. Such plans, rendering and/or elevation shall not be approved and shall be non-binding.

When submitting Continued Outstanding Development Standards for Specialized Areas, the same information required as for outstanding development standards shall also be required. Any renders and/or elevations shall not be approved and shall be non-binding. However, a Specialized Area Plan, prepared in accordance with Appendix 1, Section 1.3.1 shall be approved as part of a Sector Plan application.

A Specialized Area Plan (required by Appendix 1, Section 1.3.1) and Specialized Areas Informative Plan may be consolidated as one plan set where they are being submitted to and reviewed by the City concurrently.



The following information shall be identified on a Specialized Areas Informative Plan.

Size: Sheets 24 in. wide and 36 in. long.
May be shown over multiple sheets as needed.

Scale: Of a scale sufficient to determine detail.

	PLAN	COVER SHEET	REPORT
TOWN CENTER PLANNING AREA			
▪ Location of building footprints.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Identification of maximum GFA.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Identification of building footprint's primary and secondary pedestrian frontage.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Identification of promenade (or equivalent) frontage.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location of alignment of internal accessways.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location of proposed parking areas.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location of proposed driveway cuts.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location of internal vehicular circulation.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Illustrative concept plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Illustrative elevation plan/section.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Perspective rendering taken from at least two key locations.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
LARGE FORMAT RETAIL PLANNING SUB AREA			
▪ Location of maximum building footprint.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Identification of maximum GFA.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Identification of building footprint's primary and secondary pedestrian frontage.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location of alignment of internal accessways.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location of proposed parking areas.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location of proposed driveway cuts.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location of internal vehicular circulation.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Illustrative concept plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Illustrative elevation plan/section.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Perspective rendering taken from at least two key locations.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

	PLAN	COVER SHEET	REPORT
NEIGHBORHOOD CENTER PLANNING AREA			
▪ Identification of maximum GFA.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Identification of building footprint's primary and secondary pedestrian frontage.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Identification of promenade (or equivalent) frontage (if applicable).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Illustrative concept plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Illustrative elevation plan/section.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Perspective rendering taken from at least two key locations.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
RESORT PLANNING AREA			
▪ Location of maximum building footprint.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Identification of maximum GFA.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location of alignment of internal accessways.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location of proposed parking areas.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location of proposed driveway cuts.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location of internal vehicular circulation.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Illustrative concept plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Illustrative elevation plan/section.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Perspective rendering taken from at least two key locations.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PARKS PLANNING AREA (REGIONAL & COMMUNITY PARKS ONLY)			
▪ List of park activation sources.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location of all park activation sources.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location and design specifications for all park improvements including signage, safety elements, pedestrian amenities.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Illustrative master plan concept plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Illustrative elevation plan/section.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Perspective rendering taken from at least two key locations.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



1.3 Sector Plan

The following information shall be identified on a Sector Plan.

- Size: Sheets 24 in. wide and 36 in. long.
May be shown over multiple sheets as needed.
- Scale: Of a scale sufficient to determine detail.
- Area: A sector shall be a minimum of 100 acres or as otherwise agreed to by the City.

	PLAN	COVER SHEET	REPORT
SURVEY			
▪ An accurate survey of the boundaries of the sector.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
MASTER FRAMEWORK PLAN			
▪ Comparison of Sector Plan to Master Framework Plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
EXISTING CONDITIONS			
▪ City limits and ETJ limits.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Project boundary.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Topographic contours of 2 ft. or less.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ watershed boundaries.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ FEMA-100 year floodplain and floodway.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ FEMA-500 year floodplain and floodway.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Identified streams.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ US jurisdictional waterways.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Existing water bodies.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Existing and any approved stormwater management facilities and improvements and associated easements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Dam breach zone boundary.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Existing and any NBU planned future trunk water and wastewater lines and associated easements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Existing and any NBU planned phase 3 transmission lines and associated easements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Potential golden checked warbler habitat or other protected species habitat.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

	PLAN	COVER SHEET	REPORT
EXISTING CONDITIONS (CONTINUED)			
▪ Potential and sensitive features and associated buffers (subject to TCEQ approval).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Existing and any approved abutting streets.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Existing and any approved major accessways.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Zoning districts adjoining the sector (if applicable).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Planning areas adjoining the sector (if applicable).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
RELATIONSHIP TO GUIDING PRINCIPLES			
▪ A general statement setting forth how the Sector Plan will relate to the Guiding Principles of this DDGD; and the degree to which the Sector Plan is consistent with those principles.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
DEVELOPMENT STANDARDS			
▪ A written submission detailing compliance to the applicable minimum development standard in the Sector Design Code and any applicable codes in Parts H & I.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
▪ If proposing an alternative development standard in accordance with Section 2.3.4.2, identification of the applicable alternative development standard/s.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
DEVELOPMENT STATISTICS			
▪ Statement of gross acreage of the sector.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
▪ Statement of the proposed gross acreage of each planning area.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
▪ Statement of the average residential density for the sector.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
▪ Statement of the proposed number of residential dwellings.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
▪ Identification of the proposed acreage of each precinct.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
▪ Statement of proposed gross acreage of regional park.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
▪ Statement of proposed gross acreage of community park.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>



	PLAN	COVER SHEET	REPORT
SUPPORTING REPORTS & PLANS (AS REQUIRED)			
▪ TIA Worksheet.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
▪ TIA Update.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
▪ Preliminary Tree Survey.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>



1.3.1 Specialized Area Plan

In addition to the requirements of Appendix 1, Section 1.3, a Specialized Area Plan shall be submitted where one or more of the following specialized areas are proposed within a sector.

The following information shall be identified on a Specialized Area Plan.

Size: Sheets 24 in. wide and 36 in. long.
May be shown over multiple sheets as needed.

Scale: Of a scale sufficient to determine detail.

	PLAN	COVER SHEET	REPORT
TOWN CENTER PLANNING AREA			
▪ Location of building footprints.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Identification of maximum GFA.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Identification of building footprint's primary and secondary pedestrian frontage.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Identification of promenade (or equivalent) frontage.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location of alignment of internal accessways.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location of proposed parking areas.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location of proposed driveway cuts.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location of internal vehicular circulation.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Illustrative concept plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
LARGE FORMAT RETAIL PLANNING SUB AREA			
▪ Location of maximum building footprint.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Identification of maximum GFA.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Identification of building footprint's primary and secondary pedestrian frontage.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location of alignment of internal accessways.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location of proposed parking areas.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location of proposed driveway cuts.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location of internal vehicular circulation.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Illustrative concept plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

	PLAN	COVER SHEET	REPORT
NEIGHBORHOOD CENTER PLANNING AREA			
▪ Identification of maximum GFA.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Identification of building footprint's primary and secondary pedestrian frontage.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Identification of promenade (or equivalent) frontage (if applicable).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Illustrative concept plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
RESORT PLANNING AREA			
▪ Location of maximum building footprint.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Identification of maximum GFA.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location of alignment of internal accessways.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location of proposed parking areas.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location of proposed driveway cuts.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location of internal vehicular circulation.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Illustrative concept plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PARKS PLANNING AREA (REGIONAL & COMMUNITY PARKS ONLY)			
▪ List of park activation sources.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location of all park activation sources.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location and design specifications for all park improvements including signage, safety elements, pedestrian amenities.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Illustrative master plan concept plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Notes:

A Park Specialized Area Plan for a regional park or community park is required to be submitted as part of a Sector Plan application. A Park Specialized Area Plan for a neighborhood park, pocket park, linear open space park or landscape amenity park is required to be submitted as part of a Plat application.

A Specialized Area Plan and Specialized Areas Informative Plan (required by Appendix 1, Section 1.2.6) may be consolidated as one plan set where they are being submitted to and reviewed by the City concurrently.



1.4 Preliminary Plat

The following information shall be identified on a Preliminary Plat.

- Size: Sheets 18 in. wide and 24 in. long or 24 in. wide and 36 in. long with a border of not less than ½ in. on all sides.
- Scale: At an appropriate scale for legibility. When more than one sheet is necessary to accommodate the entire area, an index sheet showing the entire subdivision at an appropriate scale shall be attached to the plat.

	PLAN	COVER SHEET	REPORT
APPLICATION DETAILS:			
▪ Names and addresses of the Applicant, record title owner, engineer and/or surveyor.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
▪ A Preliminary Plat application form.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
SUBDIVISION NAME:			
▪ Subdivision name. Note: The proposed name of the subdivision shall not have the same spelling or be pronounced similar to the name of any other subdivision located within the City or the City's ETJ, unless the subdivision is contiguous to a recorded subdivision and the Plat represents an additional installment or increment of the original subdivision.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
▪ Names of contiguous subdivisions and the owners of contiguous unplatted tracts, and an indication of whether or not contiguous properties are platted.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
SURVEY:			
▪ Subdivision boundary lines indicated by heavy lines and the computed acreage of the subdivision.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PLAT DETAILS:			
▪ Date of preparation, scale of Plat, and north arrow.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Topographical information shall include contours on the basis of five vertical ft. in terrain with a slope of two percent or more, and on a basis of two vertical ft. in terrain of less than two percent. Contour lines shall be based upon City datum, if available.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

	PLAN	COVER SHEET	REPORT
PLAT DETAILS:			
▪ Location of City limits line, the outer border of the City's ETJ, and zoning district boundaries if they traverse the subdivision, form part of the boundary of the subdivision, or are contiguous to such boundary.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ A number or letter to identify each lot or site and each block.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Additional information as may be required by state law, the Planning Director, City Engineer, or the Planning Commission.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Land subject to any special flood hazard zone according to the City's adopted flood maps.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Any Plat Note required by the DDCD.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
EXISTING CONDITIONS:			
▪ The exact location, dimensions, name and description of all existing or recorded streets, alleys, accessways, drainage structures, reservations, easements or public ROW within the subdivision, intersecting or contiguous with its boundaries or forming such boundaries.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ The exact location, dimensions, description and name of all existing or recorded residential lots, parks, accessways, public areas and significant sites within or contiguous with the subdivision.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
BASE INFORMATION			
▪ The locations of existing and/or contiguous lots, blocks, streets, accessways, easements, ROW, parks and community facilities.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ The location, dimensions, description and name of all proposed streets, alleys, accessways, parks, public areas, cluster-style mailboxes, reservations, buffers, easements or ROW, blocks and lots.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ ¼ mile buffer zone from the lot boundary of civic spaces.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ A location map of the subdivision indicating its relation to adjacent arterials or collectors with sufficient information to locate the subdivision in relation to the rest of the Project and City.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



PART J

Appendix 1 Application Submittal Requirements

	PLAN	COVER SHEET	REPORT
DEVELOPMENT STANDARDS:			
▪ A written submission detailing compliance to the applicable minimum development standard in the Plat Design Code and any applicable codes in Parts H or I.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
▪ If an alternative development standard was approved in accordance with Section 2.3.4.2, identification of the applicable alternative development standard/s.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
▪ If an alternative development standard is proposed in accordance with Section 2.3.4.2, identification of the applicable alternative development standard/s.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
▪ Letter from Comal County addressing indicating approved street names.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
▪ Written approval from USPS Postmaster regarding proposed MBU clusters.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
DEVELOPMENT STATISTICS:			
▪ Statement of gross acreage of the Plat.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
▪ Statement of the proposed gross acreage of each planning area.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
▪ Statement of the average residential density for the Plat.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
▪ Statement of the proposed number of residential dwellings.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
▪ Statement of housing diversity score.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
▪ Statement outlining types of single-family dwelling permitted on each residential lot.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Statement of proposed gross acreage of park.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
▪ Statement of proposed gross acreage of individual park categories.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
▪ Statement of linear feet of public and private streets.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Statement of linear feet of accessways.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

	PLAN	COVER SHEET	REPORT
PRELIMINARY STREET, ACCESSWAY, AND UTILITY DRAWINGS AND SCHEMATIC LAYOUT:			
▪ A preliminary street plan with ROW and paving widths of all streets, accessways, alleys and the location of all sidewalks.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Identification of private streets.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ A preliminary plan of the water system showing the approximate location and size of existing and proposed water lines, fire hydrants, and the location and size of existing mains to which the system will be connected.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ A preliminary plan for wastewater disposal systems including the location of wastewater lines pipe size, and points of discharge or any disposal sites, including lands subject to flooding.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ A preliminary plan of the drainage system with location of channels, storms sewer and detention or retention basins.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Identify proposed low impact development measures.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ TIA Worksheet.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
▪ TIA Update.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
▪ Tree Survey.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Tree Protection Plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Tree Replacement Plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Landscape Plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



1.5 Final Plat

The following information shall be identified on a Final Plat.

- Size:** Sheets 18 in. wide and 24 in. long with a border of not less than ½ in. on all sides.
- Scale:** No smaller than 100 ft. to 1 in. When more than one sheet is necessary to accommodate the entire area, an index sheet showing the entire subdivision at an appropriate scale shall be attached to the plat.

	PLAN	COVER SHEET	REPORT
APPLICATION DETAILS			
▪ Names and addresses of the Applicant, record title owner, engineer and/or surveyor.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
▪ A Final Plat application form.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
SUBDIVISION NAME			
▪ Subdivision name. Note: The proposed name of the subdivision shall not have the same spelling or be pronounced similar to the name of any other subdivision located within the City or the City's ETJ, unless the subdivision is contiguous to a recorded subdivision and the Plat represents an additional installment or increment of the original subdivision.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
▪ Names of contiguous subdivisions and the owners of contiguous unplatted tracts, and an indication of whether or not contiguous properties are platted.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
SURVEY			
▪ An accurate boundary survey of the property with bearings and distances referenced to a known monument showing pertinent data concerning property immediately abutting in dashed lines. Boundary lines shall be shown as a heavy line.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

	PLAN	COVER SHEET	REPORT
PLAT DETAILS			
▪ Location and description of monuments that shall be placed at each corner of the boundary survey of the subdivision.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Lot numbers, block numbers, and the square footage of all lots or acreage if over one acre in size.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ A statement shall be added on the Plat indicating where sidewalks and accessways are required and who is responsible for installing them.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ A statement shall be added on the Plat stating whether all or a portion of the subdivision falls within the 100-year flood event floodplain, and if so, the engineer's or surveyor's statement of the minimum permissible floor elevation for each Lot together with a statement that all buildings shall be constructed above that minimum floor elevation. If no portion of any Lot on a Plat is within an indicated special flood hazard zone, then the Plat shall state this: "No portion of any lot on this Plat is within an indicated special flood hazard zone according to the adopted flood maps of the City."	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ If a Preliminary Plat has not been submitted, the information required to be included on a Preliminary Plat shall be submitted as separate sheets.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Any applicable notes regarding specific limitations such as "No vehicular access from specific street to Lots W – Y, Block 1."	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Identify HOA/POA maintenance responsibilities, such as alleys or parks.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Indicate shared access easements when proposed lot layout prohibits for each lot to comply with driveway spacing standards.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Any Plat Note required by the DDCD.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



PART J

Appendix 1 Application Submittal Requirements

	PLAN	COVER SHEET	REPORT
EXISTING CONDITIONS			
<ul style="list-style-type: none"> The exact location, dimensions, name and description of all existing or recorded streets, alleys, reservations, easements or public ROW within the subdivision, intersecting or contiguous with its boundary or forming such boundary, with accurate dimensions bearing or deflecting angles and radii, area and central angle, degree of curvature, tangent distance and length of all curves where appropriate. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<ul style="list-style-type: none"> The exact location, dimensions, description and name of all proposed streets, alleys, centerlines of streets and alleys, drainage easements, parks, public areas, reservations, easements or ROW, perimeter street ROW, blocks, lots and significant sites within the subdivision, with accurate dimensions bearing or deflecting angles and radii, area and central angles, degree of curvature, tangent distance and length of all curves where appropriate and distances between street jogs. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
DEVELOPMENT STANDARDS			
<ul style="list-style-type: none"> A written submission detailing compliance to the applicable minimum development standard in the Plat Design Code and any applicable codes in Parts H or I. 	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<ul style="list-style-type: none"> If an alternative development standard was approved in accordance with Section 2.3.4.2, identification of the applicable alternative development standard/s. 	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
<ul style="list-style-type: none"> If an alternative development standard is proposed in accordance with Section 2.3.4.2, identification of the applicable alternative development standard/s. 	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
<ul style="list-style-type: none"> Letter from Comal County addressing indicating approved street names. 	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<ul style="list-style-type: none"> Written approval from USPS Postmaster regarding proposed MBU clusters. 	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	PLAN	COVER SHEET	REPORT
DEVELOPMENT STATISTICS			
<ul style="list-style-type: none"> Statement of gross acreage of the Plat. 	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<ul style="list-style-type: none"> Statement of the proposed gross acreage of each planning area. 	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<ul style="list-style-type: none"> Statement of the average residential density for the Plat. 	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<ul style="list-style-type: none"> Statement of the proposed number of residential dwellings. 	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<ul style="list-style-type: none"> Statement of housing diversity score. 	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<ul style="list-style-type: none"> Statement outlining the types of single-family dwelling permitted on each residential lot. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<ul style="list-style-type: none"> Statement of proposed gross acreage of park. 	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<ul style="list-style-type: none"> Statement of proposed gross acreage of individual park categories. 	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<ul style="list-style-type: none"> Statement of maximum impervious coverage by block. 	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
SUPPORTING REPORTS & PLANS (AS REQUIRED)			
<ul style="list-style-type: none"> TIA Worksheet. 	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<ul style="list-style-type: none"> TIA Update. 	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<ul style="list-style-type: none"> Tree Survey. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<ul style="list-style-type: none"> Tree Protection Plan. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<ul style="list-style-type: none"> Tree Replacement Plan. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



1.5.1 Construction Plans

The following information shall be identified on construction plans.

Scale: 1 in. to 50 ft. or greater

	PLAN	COVER SHEET	REPORT
STREETS, ALLEYS, SIDEWALKS AND CROSSWALK WAYS			
■ In plain view of the subdivision: <ul style="list-style-type: none">» front lot line dimensions;» lot and block numbers;» other pertinent data that may be required to fully illustrate the proposed improvements;» ROW width and paved width of all streets with top of curb line grade and distances; and» elevations at all centerline intersections and grade breaks.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
■ Details for low impact development.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
■ Plans for street design – signage, lighting and pavement.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
■ Lighting plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
WASTEWATER SYSTEM			
■ In plain view of the subdivision: <ul style="list-style-type: none">» front lot line dimensions;» street widths;» lot and block numbers;» street names;» other pertinent data that may be required to fully illustrate the proposed improvements;» size and location of the proposed mains, connections to existing mains, location of proposed manholes and cleanouts by station numbers, service connections to proposed lots and such descriptive comments as may be required to fully describe the proposed construction;» existing wastewater mains adjacent to the subdivision.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

	PLAN	COVER SHEET	REPORT
WASTEWATER SYSTEM (CONTINUED)			
■ In profile view: <ul style="list-style-type: none">» station numbers;» the existing ground line;» flow line elevations at manholes and grade breaks;» flow line and grade of the proposed pipe;» manholes and cleanouts; and» other pertinent data as may be required to survey the route and construct the proposed improvements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
WASTE SYSTEM			
■ In plain view of the subdivision: <ul style="list-style-type: none">» front lot line dimensions;» street widths;» lot and block numbers;» street names;» other pertinent data that may be required to fully illustrate the proposed improvements;» size and location of proposed mains, connections to existing mains, locations of valves, fire hydrants, fittings, services to lots and such descriptive comments as may be required to fully describe the proposed construction; and» existing water mains and fire hydrants adjacent to the subdivision shall be shown.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
STORMWATER DRAINAGE			
■ In plain view of the subdivision: <ul style="list-style-type: none">» 2 ft. contours based on City datum;» front lot line dimensions;» all street widths and grades;» runoff figures shall be indicated on the outlet and inlet side of all drainage ditches and storm sewers and at all points in the street at changes of grade or where the water enters another street or storm sewer or drainage ditch;» drainage easements;	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



	PLAN	COVER SHEET	REPORT
STORMWATER DRAINAGE (CONTINUED)			
<ul style="list-style-type: none">» a general location map of the subdivision showing the entire watershed (a USGS quadrangle) is required;» calculations showing the anticipated stormwater flow, including watershed area, percent runoff, and time of concentration are to be shown;» when a drainage ditch or storm sewer is proposed, calculations shall be submitted showing basis for design;» when a drainage channel or storm sewer is proposed, complete plans, profiles, cross sections, grades and specifications shall be submitted showing complete construction details; and» construction plans for any improvements covered by this Section are subject to approval by the City Engineer including those for utilities other than NB.			

When submitted all plans and engineering calculations shall bear an engineer's certificate in accordance with this Appendix 1, Section 1.6.

If security for public improvement is provided, copies of detailed cost estimates shall also be provided.

1.6 Certificates and Statements

All certificates and statements shall be provided in accordance with §188-30 of the Code of Ordinances.



1.7 Building Permits

1.7.1 Site Plan for Non-Residential & Multi-Family Dwelling Use Developments

The following information shall be identified on a Site Plan.

Size: Sheets 8.5 in. wide and 11 in. long at a minimum, up to 24 in wide and 36 in. long at a maximum. May be shown over multiple sheets as needed.

Scale: Of a sufficient scale for legibility and to determine detail.

	PLAN	COVER SHEET	REPORT
DEVELOPMENT STANDARDS			
▪ A written submission detailing compliance to the applicable minimum development standard in any applicable code in Parts F–I.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
PLAN DETAILS (WITH APPROPRIATE DIMENSIONS)			
▪ Identification of proposed land use/s.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Setbacks: » front, side and rear; and » corner and residential adjacent setbacks if applicable.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Lot dimensions.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ All easements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Driveway approach details: » flares/radii; » width and spacing between driveways; and » distance from intersection.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location and width of sidewalks.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Building footprint.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Notation of GFA.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Landscape areas and buffers.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Civic spaces.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Sensitive features.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Identified streams.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Any applicable buffers.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Statement of imperious cover.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

	PLAN	COVER SHEET	REPORT
PLAN DETAILS (WITH APPROPRIATE DIMENSIONS) (CONTINUED)			
▪ Statement of housing diversity score (for purpose of comparing multi-family use assumptions to dwelling unit mix).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ELEVATION DETAILS			
▪ Height of structure.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Horizontal and vertical articulation.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Building design elements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Exterior building materials.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Roof treatment and type.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Entry way.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Customer entrance and treatment and pedestrian route.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PARKING DETAILS (WITH APPROPRIATE DIMENSIONS)			
▪ Number of spaces.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Maneuvering space.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Handicap spaces (van accessible).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SUPPORTING REPORTS & PLANS (AS REQUIRED)			
▪ TIA Worksheet.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
▪ TIA Update.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
▪ Tree Protection Plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Tree Replacement Plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Landscape Plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ River Access Management Plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Such other information as may be required by the Planning Director to determine compliance with the development standards.			



1.7.2 Site Plan for Single Family Dwelling Use Developments

The following information shall be identified on a Site Plan.

Size: Sheets 8.5 in. wide and 11 in. long at a minimum, up to 24 in wide and 36 in. long at a maximum. May be shown over multiple sheets as needed.

Scale: Of a sufficient scale for legibility and to determine detail.

	PLAN	COVER SHEET	REPORT
SITE DETAILS (WITH APPROPRIATE DIMENSIONS)			
▪ Lot dimensions.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Footprint of proposed structure.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location of proposed fence.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ All easements recorded for the lot.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Front, side, corner side, and rear setbacks.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Driveway location and width.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Sidewalks.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ELEVATION DETAILS (WITH APPROPRIATE DIMENSIONS)			
▪ Building Height. Note: Height is measured from the average elevation of the finished grade surrounding the structure to the highest point of the structure.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Dwelling units shall have a front door that is at least partially visible at Street View or at eye-level from an internal drive.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Exterior building materials labeled on elevation plans.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Calculation table showing the square footage and percentage of the amounts of exterior building materials.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
FENCE DETAILS (WITH APPROPRIATE DIMENSIONS)			
▪ Photo or illustration of proposed fence showing: » Height	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
» Name as described on site plan or landscape plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

	PLAN	COVER SHEET	REPORT
LANDSCAPE DETAILS (WITH APPROPRIATE DIMENSIONS)			
▪ Property lines and lot dimensions.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ All easements recorded for the lot.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Footprint of structure.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Driveway.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Sidewalks.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Street Trees (size and location).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Front setback landscape area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Trees (size and location).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Shrubs (size and location).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Existing high value trees (if applicable) (size and location).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Planting bed materials.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Fence (optional).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
IMPERVIOUS COVER CALCULATION			
▪ Statement of impervious cover.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



1.8 Park Plan

The following information shall be identified on a Landscape Plan.

- Size: Sheets 11 in. wide and 17 in. long at minimum.
May be shown over multiple sheets as needed.
- Scale: Minimum scale of one inch equals 100 ft. sufficient to determine detail; show scale in both written and graphic form.

	PLAN	COVER SHEET	REPORT
DEVELOPMENT STANDARDS			
▪ A written submission detailing compliance to the applicable minimum development standard in the Park Use Code in Part G.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
PLAN DETAILS			
▪ List of park activation sources.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location of all park activation sources.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location and design specifications for all park improvements including signage, safety elements, pedestrian amenities.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Illustrative master plan concept plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SUPPORTING REPORTS & PLANS (AS REQUIRED)			
▪ Landscape Plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Where a Park Specialized Area Plan has been prepared in accordance with Appendix 1, Section 1.3.1, such a plan shall supplant the "Plan Details" as required to be provided on a Park Plan in accordance this Section.

1.9 Landscape Plan

The following information shall be identified on a Landscape Plan.

- Size: Sheets 11 in. wide and 17 in. long at minimum.
May be shown over multiple sheets as needed.
- Scale: Minimum scale of one inch equals 100 ft. sufficient to determine detail; show scale in both written and graphic form.

	PLAN	COVER SHEET	REPORT
DEVELOPMENT STANDARDS			
▪ A written submission detailing compliance to the applicable minimum development standard in the Landscape & Lighting Code in Part I.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
PLAN DETAILS			
▪ Location, size and common name of existing trees that are greater than or equal to an eight-inch diameter measured 4 ft. above ground, except those listed in Appendix 5, Section 5.7.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Any tree that is proposed to be saved as a credit for the landscaping requirement shall be shown.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location, size (container size, planted height, etc.) and common name of all trees and shrubs to be planted as part of the Landscape Plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location and design of all landscaping materials to be used, including paving, screens, earthen berms and ponds.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Planting details where appropriate.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Spacing of plant material where appropriate.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Layout and description of irrigation, hose bibs, or water systems including location of water sources.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location of easements, overhead utilities, and streetlights.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Description of maintenance provisions.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Name and address of person/s responsible for the preparation of the Landscape Plan including the name and address of the project.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ North arrow/symbol.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



	PLAN	COVER SHEET	REPORT
PLAN DETAILS (CONTINUED)			
▪ A legible location map showing where the property is located.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Dumpster and outside trash receptacle areas.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Fences by height and material and other screening devices or vegetation.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Date of the Landscape Plan.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

1.10 Preliminary Tree Survey

The following information shall be identified on Preliminary Tree Survey.

Size: Sheets 24 in. wide and 36 in. long.
May be shown over multiple sheets as needed.

Scale: Of a scale sufficient to determine detail.

	PLAN	COVER SHEET	REPORT
PLAN DETAILS			
▪ Approximate location of all trees and cluster of trees based on lidar aerial photography flown in the last 5 years. Tree location shall be indicated by concentric circles sized on vegetation cover.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Approximate identification of tree species, if known.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

1.11 Tree Survey

The following information shall be identified on a Tree Survey.

Size: Sheets 11 in. wide and 17 in. long.
May be shown over multiple sheets as needed.

Scale: Of a scale sufficient to determine detail.

	PLAN	COVER SHEET	REPORT
PLAN DETAILS			
▪ Location of all high value trees. Trunk location shall be represented by the center of the trunk at ground level. If a tree leans substantially above that point, the direction of the lean shall be indicated.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location of the root protection zone of a high value tree. The root protection zone shall be presented by concentric circles centered on the trunk location, with the radius equal in feet to the number of inches of the tree's trunk diameter.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ A tree survey table including a list of all surveyed trees by identification number, species, DBH, health condition, structure, lean, pests and disease, crown class, crown integrity, crown spread, height, age, pruning history, live crown ratio and suitability for preservation as determined by a certified arborist.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
▪ Arborist seal on plan.			



1.12 Tree Protection Plan

The following information shall be identified on a Tree Protection Plan.

Size: Sheets 11 in. wide and 17 in. long.
May be shown over multiple sheets as needed.

Scale: Of a scale sufficient to determine detail.

	PLAN	COVER SHEET	REPORT
PLAN DETAILS			
▪ Identification of all high value trees to be retained or removed.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ A tree survey table including a list of all surveyed trees by number, species (common and Latin name), size at DBH in caliper inches, and health condition and protection status as determined by a certified arborist.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
▪ Statement and table of calculation of overall mitigation requirement in inches.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
▪ Statement and table of calculation of overall mitigation through replacement inches.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
▪ Statement and table of calculation of overall mitigation through credit inches or in lieu payment.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Details of proposed protective fencing and restrictive activities within the root zone.			

1.13 Tree Replacement Plan

The following information shall be identified on a Tree Replacement Plan.

Size: Sheets 11 in. wide and 17 in. long.
May be shown over multiple sheets as needed.

Scale: Of a scale sufficient to determine detail.

	PLAN	COVER SHEET	REPORT
PLAN DETAILS			
▪ A table including the common and Latin name, size in caliper inches.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
▪ A tree-planting plan (may be combined with the Landscape Plan).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Proper tree planting details including planting hole, tree planting, staking and mulching.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



1.14 Signage Plan

The following information shall be identified on a Signage Plan.

Size: Sheets 11 in. wide and 17 in. long.
May be shown over multiple sheets as needed.

Scale: Of a scale sufficient to determine detail.

	PLAN	COVER SHEET	REPORT
DEVELOPMENT STANDARDS			
▪ A written submission detailing compliance to the applicable minimum development standard in the Signage Code in Part I.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
PLAN DETAILS			
▪ Setbacks: » front, side and rear; and » corner and residential adjacent setbacks if applicable.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Setbacks from all other freestanding signs on same property.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Lot dimensions.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ All easements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Location of all existing and proposed structures with distances between structures.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Driveway approach details: » flares/radii; » width and spacing between driveways; » distance from intersection; and » sight distance triangle.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
▪ Elevation plan showing sign dimension and area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
BUILDING CODE COMPLIANCE			
▪ Plans and details indicating compliance with building code standards for mechanical structural and electrical.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

1.15 River Access Management Plan

The following information shall be identified on a River Access Management Plan.

Size: Sheets 11 in. wide and 17 in. long.
May be shown over multiple sheets as needed.

Scale: Of a scale sufficient to determine detail.

	PLAN	COVER SHEET	REPORT
▪ Statement of proposed land uses and activities.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
▪ Statement of whether access to the Guadalupe River is proposed.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
▪ For non-single-family dwelling uses, details of how access will be provided, including location and number of access points, hours of access, how access will be controlled (e.g. gated, guarded), details regarding first responders and other emergency services access and whether security will be provided.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
▪ For non-residential uses, details regarding first responders and other emergency services access.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
▪ Statement of management strategies proposed to minimize potential for uncontrolled access to and from the Guadalupe River.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>



1.16 Traffic Impact Assessment

1.16.1 Project Transportation Plan

As part of the Development Agreement, a comprehensive Project Transportation Plan was prepared to determine the anticipated external and internal improvements required to mitigate the impacts of the project.

The basis of the Project Transportation Plan was to:

- identify ROW needs and the number of lanes for internal roads;
- identify planning level geometry and configuration of major internal intersections;
- provide conceptual design plans for external major intersections;
- identify impacts and mitigation for study intersections based on ultimate built-out; and
- provide volume or capacity thresholds for internal roadways to establish trigger for construction of required mitigation measures.

1.16.2 TIA Worksheet

A TIA Worksheet is required to be submitted with each Sector Plan and Plat application. The TIA Worksheet template is included as Appendix 4.

1.16.3 TIA Update

As required by Section 6 of the Development Agreement, a TIA Update may be required by to be submitted as part of a Sector Plan or Plat application.

The following information shall be included within a TIA Update.

Executive Summary:

- Summary of results and conclusions.

Introduction:

- Purpose of update.
- Summary of study procedure.

Study Area:

- Proposed land use, density, and access locations of the parcels being developed.
- Comparison of proposed parcels to what was identified in the Project Transportation Plan.
- Identified likely build year for parcels being developed.
- Changes to the internal roadway network at the proposed parcels.

- Identification of study intersections. Study intersections will be based on meeting all of the following criteria:
 - » intersection was included in the Project Transportation Plan as an original study intersection.
 - » Intersection will have at least 76 inbound or outbound project trips assigned to it from the parcels being studied in this update. Trips may be assigned using ITE rates and the generalized Project distributions identified in Figure 6 of the Project Transportation Plan.
 - » Intersection is within a 1.5-mile distance of the parcels being developed as measured along the roadway network.

Projected Traffic:

- Comparison of trip generation identified in the Project Transportation Plan with the updated trip generation for the proposed parcels using ITE rates.
- Trip generation, distribution, and assignment associated with the parcels being submitted.
- Updated turning movement counts at study intersections:
 - » For minor changes in trip generation, the turning movement counts developed from the travel demand model for the Project Transportation Plan may be modified manually to account for the change in peak hour trips.
 - » Changes to the internal road network or significant changes in land use may require the travel demand model to be updated to reflect the changes in travel patterns. Figure 6 of the Project Transportation Plan will be updated to reflect the new traffic assignment.
- Threshold Volumes:
 - » Projected ADT volumes will be provided for the internal road network anticipated to be in place at completion of the project parcels.
 - » An evaluation of capacity of the internal road network in place at completion of the project parcels will be performed and a determination made as to the need for expansion of the road network.
 - » Additional roadways to be constructed by completion of the project parcels will be identified in the TIA Update.

Projected Traffic:

- Comparison of trip generation identified in the Project Transportation Plan with the updated trip generation for the proposed parcels using ITE rates.
- Trip generation, distribution, and assignment associated with the parcels being submitted.
- Updated turning movement counts at study intersections:
 - » For minor changes in trip generation, the turning movement counts developed from the travel demand model for the Project Transportation Plan may be modified manually to account for the change in peak hour trips.
 - » Changes to the internal road network or significant changes in land use may require the travel demand model to be updated to reflect the changes in travel patterns. Figure 6 of the Project Transportation Plan will be updated to reflect the new traffic assignment.



- Threshold Volumes:
 - » projected ADT volumes will be provided for the internal road network anticipated to be in place at completion of the project parcels.
 - » an evaluation of capacity of the internal road network in place at completion of the Project parcels will be performed and a determination made as to the need for expansion of the road network.
 - » additional roadways to be constructed by completion of the project parcels will be identified in the TIA Update.

Intersection Capacity Analysis:

- Analysis of study intersections for the existing, no build and build conditions using the updated traffic volumes reflecting the changes in trip generation.

Impact Analysis:

- Evaluation of LOS analysis results for TIA Update study intersections and identification of operational problems and new impacts or removal of prior impacts at study intersections. Impacts at study intersections will be identified based on the following:
 - » where no build LOS is C or better; a build LOS C is the minimum acceptable.
 - » where no build LOS is D; a build LOS D is the minimum acceptable.
 - » where no build LOS is E; a build LOS E is the minimum acceptable.
 - » Where no build LOS is F; a build LOS F and an increase in intersection delay of not more than 20 percent is the minimum acceptable result for the build condition.

Mitigation:

- Mitigation improvements will be identified for study intersections with impacts.
 - » if mitigation measures identified for the study intersection in the Project Transportation Plan effectively mitigate the new impact, no additional mitigation measures will be required for the study intersection.
 - » if the mitigation measures for the study intersection identified in the Project Transportation Plan do not mitigate the impact, new mitigation measures will be developed for the study intersection.
 - » if mitigation for the study intersection was identified in the Project Transportation Plan, but the updated volumes no longer show an impact, the mitigation measures identified in the Project Transportation Plan will not be required.
 - » the Master Developer or Applicant may propose new mitigation improvements for a study intersection in lieu of the mitigation improvements identified in the Project Transportation Plan.

Conclusion:

- Statement summarizing purpose of study and proposed changes to the mitigation improvements identified in the Project Transportation Plan.
- The land use/density appendix, project phasing appendix and project volume appendix in the Project Transportation Plan will be updated with each TIA Update submission.



Appendix 2 Sector Plan Submittal Coversheet

SECTOR PLAN SUBMITTAL COVERSHEET

APPLICANT DETAILS:

Applicant: _____

Contact Person: _____

Address: _____

City/State/Zip: _____

Phone/Email: _____

APPLICATION DETAILS:

Sector Plan Ref: _____ Date: _____

Note:
Sector Plans shall be referenced sequentially in numerical order e.g. Sector Plan 1, Sector Plan 2, being the first and second Sector Plans submitted.
An amendment to the Sector Plan shall be referenced sequentially in alphabetical order e.g. Sector Plan 1A, Sector Plan 1B, being the first and second amendments to Sector Plan 1.

Please tick:

- ☐ Application for a Sector Plan approval
- ☐ Request for an amendment to the Master Framework Plan
- ☐ Request for an amendment to an approved Sector Plan

Application Fee: \$ _____

☐ No

☐ Yes

Does this application require a Major Amendment to the Master Framework Plan?

If yes, why:

☐ No

☐ Yes

Does this application require a Minor Amendment to the Master Framework Plan?

If yes, why:

☐ No

☐ Yes

Does this application require a Major Amendment to an approved Sector Plan?

If yes, why?

☐ No

☐ Yes

Does this application require a Minor Amendment to an approved Sector Plan?

If yes, why?

☐ No

☐ Yes

Does this application propose an Alternate Development Standard?

If yes, which Minimum Development Standard/s does the proposed Alternate Development Standard/s correspond to?

☐ No

☐ Yes

Does this application include any Listed Minimum Development Standards?

If yes, which Listed Minimum Development Standard/s are applicable?

☐ No

☐ Yes

Does this application include any Specialized Areas?

If yes, which Specialized Areas?

☐ No

☐ Yes

Does this application propose any Continued Outstanding Development Standards for a Specialized Area?

If yes, which Specialized Area?

☐ No ☐ Yes Is a TIA Worksheet attached as part of this Application?

DEVELOPMENT SUMMARY PER SECTOR:

	Master Framework Plan	Proposed Sector Plan	Historic Approved Sector Plans	Total/Average
Development Statistics				
Area (gross acreage)	N/A			
Planning Areas (gross acre)				
Town Center Planning Area				
Large Format Retail Planning Sub Area				
Mixed Use Employment Planning Sub Area				
Neighborhood Center Planning Area	N/A			
Resort Planning Area				
High Density Residential Area				
Neighborhood (Mixed Density) Residential Area				
Planning Areas Pods (gross acreage)				
Town Center Planning Area				
▪ Pod 1				
Large Format Retail Planning Sub Area				
▪ Pod 4				
▪ Pod 5				
Mixed Use Employment Planning Sub Area				
▪ Pod 3				
▪ Pod 6				

	Master Framework Plan	Proposed Sector Plan	Historic Approved Sector Plans	Total/Average
Resort Planning Area				
▪ Pod 22				
High Density Residential Area				
▪ Pod 2				
▪ Pod 16				
▪ Pod 17				
Neighborhood (Mixed Density) Residential Area				
▪ Pod 7				
▪ Pod 8				
▪ Pod 9				
▪ Pod 10				
▪ Pod 11				
▪ Pod 12				
▪ Pod 13				
▪ Pod 14				
▪ Pod 15				
▪ Pod 18				
▪ Pod 19				
▪ Pod 20				
▪ Pod 21				

	Master Framework Plan	Proposed Sector Plan	Historic Approved Sector Plans	Total/Average
Residential Dwelling Units				
Average Residential Density	N/A			
Total no. of dwelling units				
▪ No. of residential lots				
▪ No of multi-family dwelling units ⁴				
Parks (gross acreage)				
Total open space & park				
▪ Regional park				
▪ Community park	N/A			

	Master Framework Plan	Proposed Sector Plan	Historic Approved Sector Plans	Total/Average
Impervious Cover (%)				
Impervious Cover Percentage				
Drainage & Water Quality				
Percentage of the Sector that drains into only one water quality BMP	N/A			
Percentage of the Sector that drains into multiple water quality BMPs.	N/A			

⁴ The approximate number of multi-family dwelling units shall be calculated based on the proposed/approved dwelling unit density for a multi-family parcel/s.

DEVELOPMENT SUMMARY PER BLOCK:

Block Ref:	Gross Acreage	Residential Density	Maximum Impervious Cover Cap



Appendix 3 Plat Submittal Coversheet

PLAT SUBMITTAL COVERSHEET

APPLICANT DETAILS:

Applicant: _____

Contact Person: _____

Address: _____

City/State/Zip: _____

Phone/Email: _____

Landowner: _____

☐ No ☐ Yes

Is this application being submitted on the Landowner’s behalf?

If yes, attached landowner’s authorization.

APPLICATION DETAILS:

Sector Plan Reference: _____

Date: _____

Plat Reference: _____

Date: _____

Engineer: _____

Contact Person: _____

Phone/Email: _____

Surveyor: _____

Contact Person: _____

Phone/Email: _____

Note:
Plats shall be referenced sequentially in numerical order and include the Sector Plan Reference e.g. Plat 1-1, Plat 1-2, being the first and second Plat applications submitted within Sector 1.
An amendment to a Plat shall be referenced sequentially in alphabetical order e.g. Plat1-1A, Plat 1-1B, being the first and second amendments to the first plan submitted within Sector 1.

Please tick:

- ☐ Application for a Plat approval
- ☐ Request for an amendment to the Master Framework Plan
- ☐ Request for an amendment to an approved Sector Plan
- ☐ Request for an amendment to an approved Plat

Application Fee: \$ _____

☐ No ☐ Yes Does this application require a Major Amendment to the Master Framework Plan?

If yes, why:

☐ No ☐ Yes Does this application require a Minor Amendment to the Master Framework Plan?

If yes, why:

☐ No ☐ Yes Does this application require a Major Amendment to an approved Sector Plan?

If yes, why?

☐ No

☐ Yes

Does this application require a Minor Amendment to an approved Sector Plan?

If yes, why?

☐ No

☐ Yes

Does this application require an Amendment to an approved Plat?

If yes, why?

☐ No

☐ Yes

Was an Alternate Development Standard approved as part of the Sector Plan in which this Plat is located?

If yes, which Minimum Development Standard/s does the proposed Alternate Development Standard/s correspond to?

☐ No

☐ Yes

Does this application propose an Alternate Development Standard?

If yes, which Minimum Development Standard/s does the proposed Alternate Development Standard/s correspond to?

☐ No ☐ Yes

Does this application include any Listed Minimum Development Standards?

If yes, which Listed Minimum Development Standard/s are applicable?

☐ No ☐ Yes

Is correspondence from the County approving street names attached as part of this Application?

☐ No ☐ Yes

Is correspondence from USPS Postmaster approving the location of MBU clusters attached a part of this application (Final Plat only)

☐ No ☐ Yes

Is a TIA Worksheet attached as part of this Application?

SUBDIVISION DETAILS:

Name of proposed
subdivision:

Name of contiguous
subdivisions tracts:

Name of contiguous property
owners:

_____	<input type="checkbox"/> Platted	<input type="checkbox"/> Unplatted
_____	<input type="checkbox"/> Platted	<input type="checkbox"/> Unplatted
_____	<input type="checkbox"/> Platted	<input type="checkbox"/> Unplatted
_____	<input type="checkbox"/> Platted	<input type="checkbox"/> Unplatted
_____	<input type="checkbox"/> Platted	<input type="checkbox"/> Unplatted
_____	<input type="checkbox"/> Platted	<input type="checkbox"/> Unplatted
_____	<input type="checkbox"/> Platted	<input type="checkbox"/> Unplatted

DEVELOPMENT SUMMARY PER PLAT:

	Approved Sector Plan	Proposed Plat	Historic Approved Plats within this Sector	Total/Average
Development Statistics				
Area (gross acreage)				
Planning Areas (gross acreage)				
Town Center Planning Area				
Large Format Retail Planning Sub Area				
Mixed Use Employment Planning Sub Area				
Neighborhood Center Planning Area				
Resort Planning Area				
High Density Residential Area				
Neighborhood (Mixed Density) Residential Area				
Residential Dwelling Units				
Average Residential Density				

	Approved Sector Plan	Proposed Plat	Historic Approved Plats within this Sector	Total/Average
Total no. of dwelling units				
▪ No. of residential lots				
▪ No of multi-family dwelling units ⁵				
Residential Diversity Score	N/A			
Parks (gross acreage)				
Total open space & park				
▪ Regional Park				
▪ Community Park				
▪ Neighborhood Park				
▪ Pocket Park				
▪ Linear Open Space Park				
▪ Landscape Amenity Park				
Streets & Accessways				
Linear feet of public streets				
Linear feet of private streets				
Linear feet of accessways				
Impervious Cover (%)				
Impervious Cover Percentage				

⁵ The approximate number of multi-family dwelling units shall be calculated based on the proposed/approved dwelling unit density for a multi-family parcel/s.

DEVELOPMENT SUMMARY PER BLOCK:

Block Ref:	Gross Acreage	Residential Density	Maximum Impervious Cover Cap



Appendix 4 TIA Worksheet Template

TRAFFIC IMPACT ANALYSIS (TIA) THRESHOLD WORKSHEET – SECTOR PLAN

APPLICANT DETAILS:

Applicant: _____

Traffic Engineer: _____

Contact Person: _____

Address: _____

City/State/Zip: _____

Phone/Email: _____

APPLICATION DETAILS:

Sector Plan Reference: _____ Date: _____

Applicable PTP Precincts: _____

Note:

The same Sector Plan Reference shall be the same as stated on the corresponding Sector Plan Submittal Coversheet.

Please attach the following plans:

- ☐ PTP Land Use Density Exhibit
- ☐ PTP Project Phasing Exhibit
- ☐ PTP Trip Assignment Exhibit

PART A: PROPOSED TYPE OF DEVELOPMENT

Anticipated Lane Use	Trip Rate Source	Development Size			Critical Peak Hour	AM Peak Hour Rate	PM Peak Hour Rate	SAT Peak Hour Rate	Daily Trip Rate	AM Peak Hour Trips	PM Peak Hour Trips	SAT Peak Hour Trips	Daily Trips
		Acres	TGSF	# of Units									
	ITE Code:												
	ITE Code:												
	ITE Code:												
	ITE Code:												
	ITE Code:												
	ITE Code:												
	ITE Code:												
	ITE Code:												
	ITE Code:												
	ITE Code:												
Total													

Note:
Multi building developments or multi-occupancies may require additional tabulation sheets to determine total peak hour trips.

PART B: APPROVED PROJECT TRANSPORTATION PLAN

Anticipated Lane Use	Trip Rate Source	Size			Critical Peak Hour	AM Peak Hour Rate	PM Peak Hour Rate	SAT Peak Hour Rate	Daily Trip Rate	AM Peak Hour Trips	PM Peak Hour Trips	SAT Peak Hour Trips	Daily Trips
		Acres	TGSF	# of Units									
	ITE Code:												
	ITE Code:												
	ITE Code:												
	ITE Code:												
	ITE Code:												
	ITE Code:												
	ITE Code:												
	ITE Code:												
	ITE Code:												
	ITE Code:												
Total													

Note:
Land use and trip generation identified in this location in the approved PTP.

Difference in Peak Hour Trips (PHT) (Proposed PHT – PTP PHT)

	AM	PM	SAT		AM	PM	SAT
Increase in Peak Hour Trips				Percent Increase in Trips			

PART C: DAILY TRIPS

Daily Trips in this Sector:

Total Daily Trips from pervious approved Sector Plans:

Percentage of the Project’s total daily trips generated by this Sector:

SECTION D: INTERNAL AND EXTERNAL ROADWAYS

Internal Roadways to be Constructed

Roadway	Project ADT	Lanes Required

Existing Internal Roadways

Roadway	Projected ADT	Existing Lanes	Required Lanes	Widening of Roadway Needed

Lane Requirements Based on Florida DOT “Generalized Annual Average Delay Volumes” Table 1 for LOS C on a Class II Arterial

Lanes	Maximum ADT Threshold
2	10,500
4	25,000
6	39,000

Comments:

Official Use Only:

☐TIA Update is not required.

☐TIA Update is required.

☐The TIA has been waived due to the following:

Reviewed By:

Date:

SECTION E: TRAFFIC IMPACT FEE

Daily Trips generated by this Sector: _____

Traffic Impact Fee (TIF) Rate

\$ _____

(refer to Exhibit X of the Development Agreement for current TIF Rate)

Applicable Traffic Impact Fee:

\$ _____

PART F: EXTERNAL TRAFFIC IMPROVEMENTS

Percentage of the Project’s total daily trips generated by this Sector: _____

External Improvements Required:

Improvement Ref:	Mitigation Improvement Description

TRAFFIC IMPACT ANALYSIS (TIA) THRESHOLD WORKSHEET – PLAT

APPLICANT DETAILS:

Applicant: _____

Traffic Engineer: _____

Contact Person: _____

Address: _____

City/State/Zip: _____

Phone/Email: _____

APPLICATION DETAILS:

Sector Plan Reference: _____ Date: _____

Plat Reference: _____ Date: _____

Applicable PTP Precincts: _____

Note:

The same Sector Plan and Plat References shall be the same as stated on the corresponding Plat Submittal Coversheet.

Please attach the following plans:

- ☐ PTP Land Use Density Exhibit
- ☐ PTP Project Phasing Exhibit
- ☐ PTP Trip Assignment Exhibit

PART A: PROPOSED TYPE OF DEVELOPMENT

Anticipated Lane Use	Trip Rate Source	Development Size			Critical Peak Hour	AM Peak Hour Rate	PM Peak Hour Rate	SAT Peak Hour Rate	Daily Trip Rate	AM Peak Hour Trips	PM Peak Hour Trips	SAT Peak Hour Trips	Daily Trips
		Acres	TGSF	# of Units									
	ITE Code:												
	ITE Code:												
	ITE Code:												
	ITE Code:												
	ITE Code:												
	ITE Code:												
	ITE Code:												
	ITE Code:												
	ITE Code:												
	ITE Code:												
Total													

Note:
Multi building developments or multi-occupancies may require additional tabulation sheets to determine total peak hour trips.

PART B: APPROVED PROJECT TRANSPORTATION PLAN

Anticipated Lane Use	Trip Rate Source	Size			Critical Peak Hour	AM Peak Hour Rate	PM Peak Hour Rate	SAT Peak Hour Rate	Daily Trip Rate	AM Peak Hour Trips	PM Peak Hour Trips	SAT Peak Hour Trips	Daily Trips
		Acres	TGSF	# of Units									
	ITE Code:												
	ITE Code:												
	ITE Code:												
	ITE Code:												
	ITE Code:												
	ITE Code:												
	ITE Code:												
	ITE Code:												
	ITE Code:												
	ITE Code:												
Total													

Note:
Land use and trip generation identified in this location in the approved PTP.

Difference in Peak Hour Trips (PHT) (Proposed PHT – PTP PHT)

	AM	PM	SAT		AM	PM	SAT
Increase in Peak Hour Trips				Percent Increase in Trips			

PART C: DAILY TRIPS

Daily Trips in this Plat:

Total Daily Trips from pervious approved Sector Plans
and Plats within this Sector:

Percentage of the Project’s total daily trips generated by this Plat:

SECTION D: INTERNAL AND EXTERNAL ROADWAYS

Internal Roadways to be Constructed

Roadway	Project ADT	Lanes Required

Existing Internal Roadways

Roadway	Projected ADT	Existing Lanes	Required Lanes	Widening of Roadway Needed

Lane Requirements Based on Florida DOT “Generalized Annual Average Delay Volumes” Table 1 for LOS C on a Class II Arterial

Lanes	Maximum ADT Threshold
2	10,500
4	25,000
6	39,000

Comments:

Official Use Only:

☐TIA Update is not required.

☐TIA Update is required.

☐The TIA has been waived due to the following:

Reviewed By:

Date:

SECTION E: TRAFFIC IMPACT FEE

Daily Trips generated by this Plat: _____

Traffic Impact Fee (TIF) Rate \$ _____ (refer to Exhibit X of the Development Agreement for current TIF Rate)

Applicable Traffic Impact Fee: \$ _____

PART F: EXTERNAL TRAFFIC IMPROVEMENTS

Percentage of the Project’s total daily trips generated by this Plat: _____

External Improvements Required:

Improvement Ref:	Mitigation Improvement Description



Appendix 5 Landscape Species List

Sections 5.1-5.6 of this Appendix identifies those landscape species which shall be permitted to be planted within the project for the purpose of satisfying any and all landscape planting minimum development standards required by this DDCD. In addition to any species listed in Sections 5.1-5.6, any landscape species recommended by the Lady Bird Johnson Wildflower Center, the University of Texas at Austin or the Urban Forester shall also be permitted.

Those species identified by an "S" shall be considered shade trees.

5.1 Large Trees

SCIENTIFIC NAME	COMMON NAME
<i>Carya illinoensis</i> (S)	Pecan
<i>Fraxinus texensis</i> (S)	Texas Ash
<i>Juglans major</i> (S)	Arizona Walnut
<i>Juglans microcarpa</i> (S)	Nogalillo, River Walnut
<i>Juglans nigra</i> (S)	Black Walnut
<i>Juniperus virginiana</i> (S)	Eastern Red Cedar
<i>Magnolia grandiflora</i> (S)	Magnolia
<i>Phoenix canariensis</i>	Canary Island or False Date Palm (exotic)
<i>Pinus cembroides</i>	Mexican Pinyon Pine, Remote Pine
<i>Pinus eldarica</i>	Afghan Pine
<i>Pinus halepensis</i>	Aleppo Pine (exotic)
<i>Pinus pinea</i>	Italian Stone Pine (exotic)
<i>Platanus mexicana</i> (S)	Mexican Sycamore
<i>Platanus occidentalis</i> (S)	Texas Sycamore

SCIENTIFIC NAME	COMMON NAME
<i>Quercus canbyi</i>	Canby's Oak
<i>Quercus durandii</i> (S)	Durand Oak
<i>Quercus fusiformis</i> (S)	Escarpment Live Oak
<i>Quercus laceyi (glaucoides)</i> (S)	Lacey's Oak
<i>Quercus macrocarpa</i> (S)	Bur Oak
<i>Quercus shumardii</i> (S)	Shumard Red Oak
<i>Quercus texana</i> (S)	Red Oak
<i>Quercus virginiana</i> (S)	Southern Live Oak
<i>Sabal texana</i>	Palm, Sabal and Dwarf Sabal
<i>Taxodium distichum</i> (S)	Bald Cypress
<i>Taxodium mucronatum</i> (S)	Montezuma Cypress
<i>Ulmus americana</i> (S)	American Elm
<i>Ulmus crassifolia</i> (S)	Cedar Elm



5.2 Medium Trees

SCIENTIFIC NAME	COMMON NAME
<i>Cupressus arizonica</i>	Arizona cypress
<i>Acer truncatum</i>	Shantung Maple
<i>Acer grandidentatum</i>	Bigtooth Maple
<i>Acer sacharum</i> "Caddo"	Caddo Maple
<i>Chamaerops humilis</i>	Mediterranean Fan Palm (exotic)
<i>Ehretia anacua</i>	Anaqua
<i>Fraxinus velutina</i> "Fan-tex"	Fan-tex Green Ash
<i>Quercus buckleyi</i> (texana)	Texas Red Oak (S)
<i>Quercus laceyi</i> (glaucoides)	Lacey's Oak

SCIENTIFIC NAME	COMMON NAME
<i>Quercus gravesii</i>	Chisos Red, Graves
<i>Quercus mohriana</i>	Shin Oak
<i>Quercus muehlenbergii</i> (S)	Chinkapin or Chinquapin Oak
<i>Quercus polymorpha</i> (S)	Mexican White Oak or Monterrey Oak
<i>Quercus pungens</i> var. <i>vaseyana</i>	Vasey Oak
<i>Sabal mexicana</i>	Mexican or Texas Sabal
<i>Sapindus saponaria</i> var. <i>drummondii</i>	Soapberry
<i>Tilia caroliniana</i>	Carolina Basswood
<i>Washingtonia filifera</i>	California Fan (exotic)

5.3 Small Trees

SCIENTIFIC NAME	COMMON NAME
<i>Acacia farnesiana</i>	Huisache
<i>Acacia roemeriana</i>	Roemer's Acacia
<i>Aesculus pavia</i>	Red Buckeye
<i>Arbutus xalapensis</i>	Texas Madrone
<i>Bauhinia congesta</i>	Anacacho Orchid Tree
	Eastern Redbud
<i>Cercis canadensis</i> var. <i>texensis</i>	Texas Redbud
<i>Cercis canadensis</i> var. <i>mexicana</i>	Mexican Redbud
<i>Chilopsis linearis</i>	Desert Willow
<i>Condalia hookeri</i>	Condalia, Brazil
<i>Cordia boissieri</i>	Wild Olive, Mexican Wild Olive
<i>Cotinus obovatus</i>	American Smoketree
<i>Diospyrus texana</i>	Texas Persimmon
<i>Fraxinus cuspidate</i>	Fragrant Ash
<i>Hamamelis virginiana</i>	Witch Hazel

SCIENTIFIC NAME	COMMON NAME
<i>Lagerstroemia indica</i> , <i>fauriei</i> , and <i>X's</i>	Crape Myrtle, etc. (exotic)
<i>Leucaena retusa</i>	Goldenball Leadtree
<i>Malus</i> sp.	Blanco Crabapple
<i>Myrosporum sousanum</i>	Arroyo Sweetwood
<i>Parkinsonia aculeate</i>	Retama, Jerusalem Thorn
<i>Pistacia texensis</i>	Texas Pistache
<i>Prunus caroliniana</i>	Cherry Laurel
<i>Prunus mexicana</i>	Mexican Plum
<i>Prunus virginiana</i>	Chokeberry
<i>Pyrus ioensis</i>	Blanco Crabapple
<i>Rhamnus caroliniana</i>	Carolina Buckthorn
<i>Rhus lanceolata</i>	Flameleaf Sumac
<i>Rhus virens</i>	Evergreen Sumac
<i>Senna corymbosa</i>	Flowering Senna
<i>Sophora affinis</i>	Texas Sophora or Eve's

SCIENTIFIC NAME	COMMON NAME
<i>Ilex decidua</i>	Possum-haw Holly
<i>Ilex vomitoria</i>	Yaupon Holly
<i>Juglans microcarpa</i>	Little, Texas Walnut

5.4 Shrubs, Vines and Herbaceous Perennials

SCIENTIFIC NAME	COMMON NAME
<i>Achillea millefolium</i>	Yarrow
<i>Agave americans</i>	Century Plant
<i>Amorpha fruticosa</i>	Amorpha, Indigobush
<i>Anisacanthus spp.</i>	Hummingbird Bush
<i>Antigonon leptopus</i>	Coral Vine, Rosa-De-Montana, Queens Wreath
<i>Aquilegia spp.</i>	Columbine
<i>Aquilegia Canadensis</i>	Red columbine
<i>Aster spp.</i>	Aster
<i>Bamboo spp.</i>	Bamboo, non-invasive/clumping
<i>Berberis (Mahonia) trifoliata</i>	Agarita, Agarito
<i>Berberis spp.</i>	Agarita, Tx. Barberry
<i>Bignonia capreolata</i>	Crossvine
<i>Bougainvillea</i>	Bougainvillea
<i>Buddleia spp.</i>	Butterfly Bush
<i>Caesalpinia gilliesi</i>	Bird of Paradise
<i>Caesalpinia mexicana</i>	Mexican Bird of Paradise
<i>Caesalpinia pulcherrima</i>	Pride of Barbados
<i>Callicarpa americana</i>	American Beauty
<i>Callistemon spp</i>	Bottlebrush
<i>Campsis radicans x Madame Galen</i>	Trumpet Vine, Trumpet Creeper
<i>Capsicum annuum</i>	Chilipiquin
<i>Cassia alata</i>	Candlestick Tree

SCIENTIFIC NAME	COMMON NAME
<i>Sophora secundiflora</i>	Mountain Laurel or Mescal Bean
<i>Ungnadia speciosa</i>	Mexican Buckeye
<i>Viburnum rufidulum</i>	Rusty Blackhaw

SCIENTIFIC NAME	COMMON NAME
<i>Iris spp</i>	Iris
<i>Jasminum floridum</i>	Italian Jasmine
<i>Jasminum mesnyi</i>	Primrose Jasmine
<i>Jatropha spp</i>	Jatropha
<i>Juniper spp</i>	Juniper
<i>Justicia brandegeana</i>	Shrimp Plant
<i>Justicia spp.</i>	Shrimp Plant
<i>Justicia suberecta</i>	Mexican Shrimp Plant
<i>Lantana spp.</i>	Lantana
<i>Leucophyllum frutescens</i>	Texas Silverleaf, Sage, Cenizo
<i>Liatris spp.</i>	Gayfeather
<i>Lindera benzoin</i>	Spicebush
<i>Lonicera albiflora</i>	White Bush Honeysuckle
<i>Lonicera sempervirens</i>	Coral Honeysuckle
<i>Malpighia glabra</i>	Barbados Cherry
<i>Malvaviscus drummondii</i>	Turk's Cap
<i>Manfreda spp</i>	Manfreda
<i>Mascagnia spp.</i>	Butterfly Vine
<i>Mimosa bluncifera</i>	Cat Claw Mimosa, Fragrant Mimosa
<i>Moraea spp.</i>	African Iris
<i>Myrica cerifera</i>	Wax Myrtle - Dwarf, Standard
<i>Parthenocissus heptaphylla</i>	Seven Leaf Creeper



PART J

Appendix 5 Landscape Species List

SCIENTIFIC NAME	COMMON NAME
<i>Cassia</i> spp.	Cassia
<i>Cassia lindheimeriana</i>	Lindheimer Senna
<i>Callirhoe involucrata</i>	Winecup
<i>Calylophus</i> spp.	Calylophus
<i>Cephalanthus occidentalis</i>	Buttonbush
<i>Chrysactinia mexicana</i>	Damianita
<i>Clematis pitcheri</i>	Purple Leatherflower
<i>Clematis texensis</i>	Texas Clematis
<i>Clematis texensis</i>	Scarlet Leatherflower
<i>Cooperia drummondii</i>	Rain Lily
<i>Cornus drummondii</i>	Rough-Leaf Dogwood
<i>Coursetia axillaris</i>	Baby Bonnets
<i>Crataegus</i> spp.	Hawthorn
<i>Crinum</i> spp.	Crinum Lily
<i>Conoclinium (Eupatorium) greggii</i>	Gregg's Blue mist flower
<i>Cuphea</i> spp.	Cigar Plants
<i>Dasyllirion</i> spp.	Sotol, Desert Spoon
<i>Dasyllirion texanum</i>	Sotol
<i>Desmanthus illinoensis</i>	Illinois Bundleflower
<i>Duranta repens</i>	Brazilian Sky Flower
<i>Echinacea purpurea</i>	Purple Coneflower
<i>Elaeagnus pungens</i> vars.	Silverberry
<i>Eriobotrya x Coppertone</i>	Coppertone Loquat
<i>Erythina crista-galli</i>	Fireman's Cap, Coral Tree
<i>Erythina herbacea</i>	Coral Bean
<i>Eupatroium</i> spp.	Mist Flower
<i>Euryops pecinatus</i>	Golden Shrub Daisy
<i>Euryops pactinatus</i>	Grayleaf Euryops

SCIENTIFIC NAME	COMMON NAME
<i>Parthenocissus quinquefolia</i>	Virginia Creeper
<i>Passiflora allatocaerrulea (P. pfordtii)</i>	Passion Vine
<i>Passiflora incarnate</i>	Passionflower
<i>Pavonia lasiopetala</i>	Rock Rose
<i>Penstemon</i> spp.	Penstemon
<i>Philadelphus</i> spp.	Mock Orange
<i>Phlox</i> spp.	Prairie Phlox
<i>Physostegia</i> spp.	Obedient Plant
<i>Poliomenantha longiflora</i>	Mexican Oregano
<i>Pistache texana</i>	Texas Pistache
<i>Plumbago auriculata (P. capensis)</i>	Blue Plumbago
<i>Podocarpus macrophyllus</i>	Yew
<i>Poliomenantha longiflora</i>	Mexican Oregano
<i>Primrose</i> spp.	Primrose
<i>Ptelea trifoliolata</i>	Hop Tree
<i>Puncia granatum</i>	Pomegranate (Regular and Dwarf)
<i>Rosa Banksiae</i>	Lady Banksia Rose
<i>Rosemarinus</i> spp.	Rosemary
<i>Ruellia</i> spp. Mexican Petunias	Mexican petunia
<i>Russelia equisetiformis</i>	Firecracker Plant
<i>Sabal minor</i>	Palmetto Palm
<i>Salvia</i> spp.	Salvia
<i>Salvia farenaceae</i>	Blue Sage, Mealy Sage
<i>Salvia greggii</i>	Autumn Sage
<i>Salvia regla</i>	Mountain Sage
<i>Salvia ballotaeflora</i>	Blue Shrub Sage
<i>Sambucus Canadensis</i>	Elderberry
<i>Santolina</i> spp.	Santolina



PART J

Appendix 5 Landscape Species List

SCIENTIFIC NAME	COMMON NAME
<i>Eysenhardtia texana</i>	Kidneywood
<i>Foresteria pubescebs</i>	Texas Elbow Bush
<i>Gamolepis chrysanthemoides</i>	Golden Shrub Daisy
<i>Garrya ovata lindheimer</i>	Mx. Silk Tassel
<i>Gaura spp</i>	Gaura
<i>Gelsemium sempervirens</i>	Caroline Jessamine
<i>Galphimia gracilis</i>	Golden Thryallis
<i>Gymnosperma gutinosum</i>	Tataleneho
<i>Hamamelis virginiana</i>	Witchhazel
<i>Heimia salicifolia</i>	Willow-leaf Heimia
<i>Hesperaloe parviflora</i>	Red Yucca
<i>Hibiscus coccineus</i>	Hibiscus, Texas Star
<i>Hibiscus cardiophyllus</i>	Heartleaf Hibiscus
<i>Hibiscus syriacus</i>	Althea, Rose-of-Sharon
<i>Hymenoxys scaposa</i>	Four-nerve Daisy
<i>Hypericum spp</i>	St. John's Wort
<i>Ilex cornuta</i>	Dwarf Chinese Holly
<i>Ilex decidua</i>	Possumhaw
<i>Ilex vomitoria</i>	Yaupon
<i>Ilex vomitoria nana</i>	Dwarf Yaupon
<i>Ipomea fitulosa</i>	Bush Morning-Glory
<i>Ipomoea quamoclit</i>	Cypress (Cardinal) Vine
<i>Ipomoea sinuata</i>	Alamo Vine

SCIENTIFIC NAME	COMMON NAME
<i>Scutellaria spp.</i>	Pink Skullcap
<i>Senecio confuses</i>	Mexican Flame Vine/Love Vine
<i>Solidago spp.</i>	Goldenrod
<i>Stigmaphyllon littorale</i>	Butterfly Vine
<i>Tagetes Ilucida</i>	Mexican Marigold
<i>Tecoma stans</i>	Yellowbells, esperanza
<i>Tecoma capensis</i>	Cape Honeysuckle
<i>Teuerium laciniatum</i>	Dwarf Germander
<i>Thyrallis glauca</i>	Yellow Plumbago
<i>Trachelospermum jasminoides</i>	Confederate Jasmine
<i>Vauquelinia angustiflora</i>	Chisos Rosewood
<i>Viburnum rufidulum</i>	Viburnum Rusty Blackhaw
<i>Viguiera stenoloba</i>	Skelton-leaf goldeneye
<i>Wisteria macrostachya</i>	Texas Wisteria
<i>Wisteria millettia veticulata</i>	Wisteria, evergreen
<i>Yucca spp.</i>	Yuccas
<i>Yucca agustifolia</i>	Narrow-leaf Yucca
<i>Yucca constricta</i>	Buckley Yucca
<i>Yucca rupicola</i>	Twisted-leaf Yucca
<i>Yucca pendula</i>	Softleaf Yucca
<i>Yucca thompsonia</i>	Thompson Yucca
<i>Yucca treculeana</i>	Spanish Dagger
<i>Zexmenia hispidia</i>	Zexmenia

5.5 Ground Covers

SCIENTIFIC NAME	COMMON NAME
<i>Aptinia condifolia</i>	Heart Leaf Ice Plant
<i>Asparagus sprengeri</i>	Asparagus Fern
<i>Aspidistra elatior</i>	Aspidistra, Cast Iron Plant
<i>Juniper spp.</i>	Juniper
<i>Lantana spp</i>	Lantana
<i>Liriope gigantea</i>	Giant Liriope
<i>Liriope muscari vars</i>	Lily Turf, Liriope (Std., Big Blue)
<i>Ophiopogon japonica</i>	Mondo Grass, Monkey Grass
<i>Rosemarinus officinales vars.</i>	Prostrate Rosemary
<i>Setcreasea purpurea</i>	Purple Heart
<i>Trachelospermum asiaticum</i>	Asian Jasmine
<i>Trachelospermum jasminoides</i>	Confederate Jasmine, Star Jasmine
<i>Verbena spp.</i>	Verbena
<i>Vinca minor</i>	Small Vinca

SCIENTIFIC NAME	COMMON NAME
<i>Wedelia trilobata</i>	Wedelia
<i>Acacia hirta</i>	Fern Acacia
<i>Artemesia spp.</i>	Artemesia
<i>Dalea spp</i>	Dalea
<i>Dyschorista linearis</i>	Snake Herb
<i>Marsilea macropoda</i>	Water Clover
<i>Oenothera speciosa</i>	Evening Primrose
<i>Phyla humilis</i>	Frogfruit
<i>Rivina humilis</i>	Pigeonberry
<i>Sedurn acre</i>	Stonecrop
<i>Stachys coccinea</i>	Texas Betony
<i>Symphoricapus orbiculatus</i>	Coralberry
<i>Thryallis augustifolia</i>	Thyallis

5.6 Ornamental Grasses and Grass-like Plants

SCIENTIFIC NAME	COMMON NAME
<i>Agropyron smithii</i>	Western Wheatgrass
<i>Andropogon gerardii</i>	Big Bluestern
<i>Bouteloua curtipendula</i>	Sideoats Grama
<i>Chasmanthium latifolium</i>	Inland Sea Oats
<i>Erianthus giganteus</i>	Sugarcane Plume grass
<i>Muhlenbergia capillaris</i>	Gulf Muhly
<i>Muhlenbergia dubia</i>	Pine Muhly
<i>Muhlenbergia dubioides</i>	Weeping Muhly
<i>Muhlenbergia dumosa</i>	Bamboo Muhly
<i>Muhlenbergia lindheimer</i>	Lindheimer Muhly

SCIENTIFIC NAME	COMMON NAME
<i>Muhlenbergia rigens</i>	Deer Muhly
<i>Muhlenbergia reverehonii</i>	Seep Muhly
<i>Nolina spp.</i>	Beargrass
<i>Panicum virgatum</i>	Switch Grass
<i>Schizaachyrium scoparium</i>	Little Bluestem
<i>Schoenocaulon texanum</i>	Green Lily
<i>Sorghastrum natums</i>	Indian Grass
<i>Stipa tenuissima</i>	Mexican Feathergrass
<i>Tripsacum dactyloides</i>	Eastern Gama grass
<i>Cyperus alternifolius</i>	Umbrella Grass



5.7 Undesirable Trees

SCIENTIFIC NAME	COMMON NAME
<i>Acacia farnesiana</i>	Huisache or Sweet Acacia
<i>Acer negundo</i>	Box Elder
<i>Ailanthus altissima</i>	Tree of Heaven
<i>Albizia julibrissin</i>	Mimosa
<i>Broussonetia papyrifera</i> (L.) L=(Her. ex. Vent.)	Paper Mulberry
<i>Celtis laevigata</i>	Sugarberry or Hackberry
<i>Eriobotrya japonica</i>	Chinese Loquat or Loquat
<i>Firmiana simplex</i>	Chinese Parasol/Varnish Tree
<i>Fraxinus velut</i>	Arizona Ash
<i>Koelreuteria paniculata</i>	Golden-Rain Tree

SCIENTIFIC NAME	COMMON NAME
<i>Juniperus ashei</i>	Ashe-Juniper or Mountain Cedar
<i>Ligustrum japonicum</i>	Ligustrum or Privet
<i>Melia azedarach</i> L.	Chinaberry Tree
<i>Populus nigra italica</i>	Lombardy Popular
<i>Prosopis glandulosa</i>	Mesquite
<i>Prunus salicina</i>	Japanese Plum
<i>Pyrus calleryana</i>	Bradford Pear
<i>Sapium sebiferum</i>	Chinese Tallow
<i>Tamarix ramosissima</i> Ledeb.	Saltcedar

Appendix 6 Continued Outstanding Development Standards for Specialized Areas

6.1 Town Center Planning Area

6.1.1 Sector Design Code

In *Specialized Area Plan – Town Center Planning Area*, new Minimum Development Standards and Alternative Development Standard Guidance references, in substantially the same form and format as the existing Development Standards, addressing the following matters shall be inserted:

- Building Footprint/Building Envelope
- Promenade (or equivalent) Orientation
- Provision of Civic Spaces
- Internal Pedestrian Connectivity

6.1.2 Plat Design Code

In the Minimum Lot Area and Size table, new Minimum Development Standards, and if applicable, Alternate Development Standard Guidance references, in substantially the same form and format as the existing Development Standards, addressing the following matters shall be inserted:

- Maximum Lot Size
- Minimum Lot Size
- Minimum Lot Width
- Minimum Lot Depth
- Minimum Street Frontage

6.1.3 Town Center Area Planning Code

In *Site Planning*, new Minimum Development Standards and Alternative Development Standard Guidance references, in substantially the same form and format as the existing Development Standards, addressing the following matters shall be inserted:

- Maximum Building Height
- Minimum Building Height
- Minimum Front Setback
- Minimum Side Setback
- Minimum Corner Setback
- Minimum Rear Setback
- Minimum Setback from Adjoining Residential Uses
- Setback Encroachments
- Maximum Building Coverage
- Maximum Gross Floor Area
- Mixed Uses Ratio
- Building Orientation
- Promenade (or equivalent) Orientation

In *Pedestrian Places & Movement*, new Minimum Development Standards and Alternative Development Standard Guidance references, in substantially the same form and format as the existing Development Standards, addressing the following matters shall be inserted:

- Civic Spaces
- Pedestrian Connectivity
- Internal Pedestrian Circulation

In *Detailed Building Design*, new Minimum Development Standards and Alternative Development Standard Guidance references, in substantially the same form and format as the existing Development Standards, addressing the following matters shall be inserted:

- Façade Articulation (horizontal and vertical)
- Building Elements
- Exterior Building Materials
- Consistent Façade
- Encroachments
- Solar Protection
- Roof Treatments
- Roof Types
- Entryways
- Parking Structures
- Awnings

6.1.4 Parking, Access & Servicing Code

In *General – applicable to the Town Center Planning Area only*, new Minimum Development Standards and Alternative Development Standard Guidance references, in substantially the same form and format as the existing Development Standards, addressing the following matters shall be inserted:

- Siting of Parking Areas
- Service Entrances and Loading Areas
- Driveway Access
- Internal Circulation

6.2 Park Planning Area

6.2.1 Park Planning Code

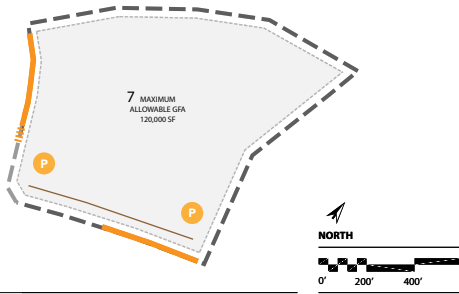
In *Non-Park Use*, new Minimum Development Standards and Alternative Development Standard Guidance references, in substantially the same form and format as the existing Development Standards, addressing the following matters shall be inserted:

- *Site Planning*
 - » Planning Area Designation
 - » Maximum Building Height
 - » Minimum Front Setback
 - » Minimum Side Setback
 - » Minimum Corner Setback
 - » Minimum Rear Setback
 - » Minimum Setback Adjoining Residential Uses
 - » Setback Encroachments
 - » Maximum Building Coverage
 - » Maximum Gross Floor Area
 - » Building Orientation
 - » Promenade (or equivalent) Orientation (optional)
- *Pedestrian Places and Movement*
 - » Civic Spaces
 - » Internal Pedestrian Circulation
- *Detailed Building Design*
 - » Façade Articulation (horizontal and vertical)
 - » Building Elements
 - » Exterior Building Materials
 - » Consistent Façade
 - » Encroachments
 - » Solar Protection
 - » Roof Treatments
 - » Roof Types
 - » Entryways
 - » Parking Structures
 - » Awnings



Appendix 7 Approved Specialized Area Plans

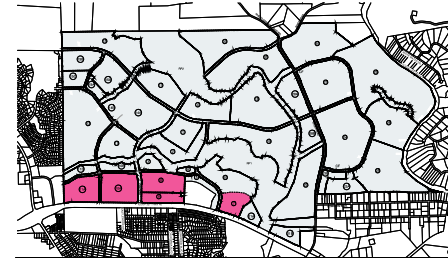
7.1 Large Format Retail Planning Sub Area Specialized Area Plan



Large Format Retail Planning Sub-Area
Specialized Area Plan

Plan Notes

1. THIS PLAN IS TO BE READ IN CONJUNCTION WITH SECTION 13.4.2 OF THE VERAMENDI DEVELOPMENT & DESIGN CONTROL DOCUMENT.
2. A MAXIMUM BUILDING FOOTPRINT IS THE SPATIAL LIMIT WITHIN WHICH BUILDINGS AND STRUCTURES MAY BE LOCATED. BUILDINGS MAY BE POSITIONED AND ORIENTED ANYWHERE WITHIN A MAXIMUM BUILDING FOOTPRINT SUBJECT TO ANY APPLICABLE MINIMUM DEVELOPMENT STANDARDS IN THE VERAMENDI DEVELOPMENT & DESIGN CONTROL DOCUMENT AND PROVIDED THE STATED MAXIMUM ALLOWABLE GROSS FLOOR AREA (GFA) IS NOT EXCEEDED.
3. THE LOCATION AND SPATIAL CONFIGURATION OF OPPORTUNITY PARKING AREAS IS GUIDANCE ONLY. PARKING AREAS MAY BE ESTABLISHED IN ANY LOCATION THAT IS PRACTICAL AND/OR DESIRABLE, INCLUDING WITHIN MAXIMUM BUILDING FOOTPRINTS. ADDITIONAL PARKING AREAS MAY BE DESIGNATED.
4. THE PRECISE ALIGNMENT, ORIENTATION AND CONFIGURATION OF THE MAIN STREET IS TO BE DETERMINED AT PLAT STAGE FOLLOWING DETAILED ENGINEERING DESIGN. THE MAIN STREET IS TO BE DESIGNED TO PRIORITIZE PEDESTRIANS AND BICYCLES.
5. THE PRECISE POSITION, ORIENTATION AND CONFIGURATION OF DRIVEWAY CUTS IS TO BE DETERMINED AT PLAT STAGE FOLLOWING DETAILED ENGINEERING DESIGN. A MINIMUM DRIVEWAY SPACING OF 250 FT. IS REQUIRED WITHIN THE DRIVEWAY ACCESS ZONES ALONG ROADWAYS B, C, AND D.
6. VEHICLE ROUTES ARE CONCEPTUAL TO SHOW INTENT FOR VEHICLE CONNECTIVITY. REFER TO DODC SECTION 13.4.2 FOR ADDITIONAL GUIDANCE. THE PRECISE ALIGNMENT, ORIENTATION AND CONFIGURATION OF VEHICLE ROUTES IS TO BE DETERMINED AT PLAT STAGE FOLLOWING DETAILED ENGINEERING DESIGN. ADDITIONAL VEHICLE ROUTES MAY BE DESIGNATED AS EITHER PRIVATE OR PUBLIC.
7. PEDESTRIANS AND/OR BICYCLE ROUTES ARE CONCEPTUAL TO SHOW INTENT FOR VEHICLE CONNECTIVITY. REFER TO DODC SECTION 13.4.2 FOR ADDITIONAL GUIDANCE. THE PRECISE ALIGNMENT, ORIENTATION AND CONFIGURATION OF PEDESTRIAN AND BICYCLE ACCESSWAYS IS TO BE DETERMINED AT PLAT STAGE FOLLOWING DETAILED ENGINEERING DESIGN. ADDITIONAL PEDESTRIAN AND BICYCLE ACCESSWAYS MAY BE DESIGNATED.
8. THE PRECISE ALIGNMENT, ORIENTATION AND CONFIGURATION OF CIVIC SPACES IS TO BE DETERMINED AT PLAT STAGE FOLLOWING DETAILED ENGINEERING DESIGN. ADDITIONAL CIVIC SPACES MAY BE DESIGNATED.



Veramendi Parcel Key

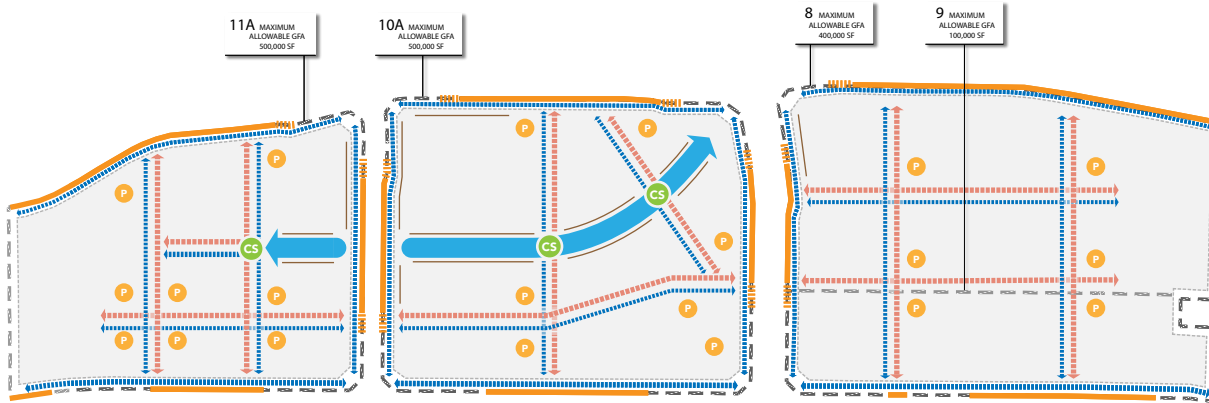
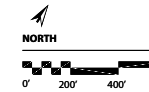
Key Legend

- Parcel Boundary
- Maximum Buildable Footprint
- Parking Area Opportunity (P)
- Civic Space Opportunity (CS)
- Main Street
- Vehicular Route (Private or Public)
- Pedestrian and/or Bicycle route
- Driveway Access Zone
- Additional Driveway Access Zone
- Primary Building Frontage

GFA Matrix

7	120,000 GFA
8	400,000 GFA
9	100,000 GFA
10A	500,000 GFA
11A	500,000 GFA

TOTAL 1,620,000 GFA



Large Format Retail Planning Sub-Area
Specialized Area Plan



Large Format Retail Planning Sub-Area
Specialized Area Plan

DATE: 8/22/2018



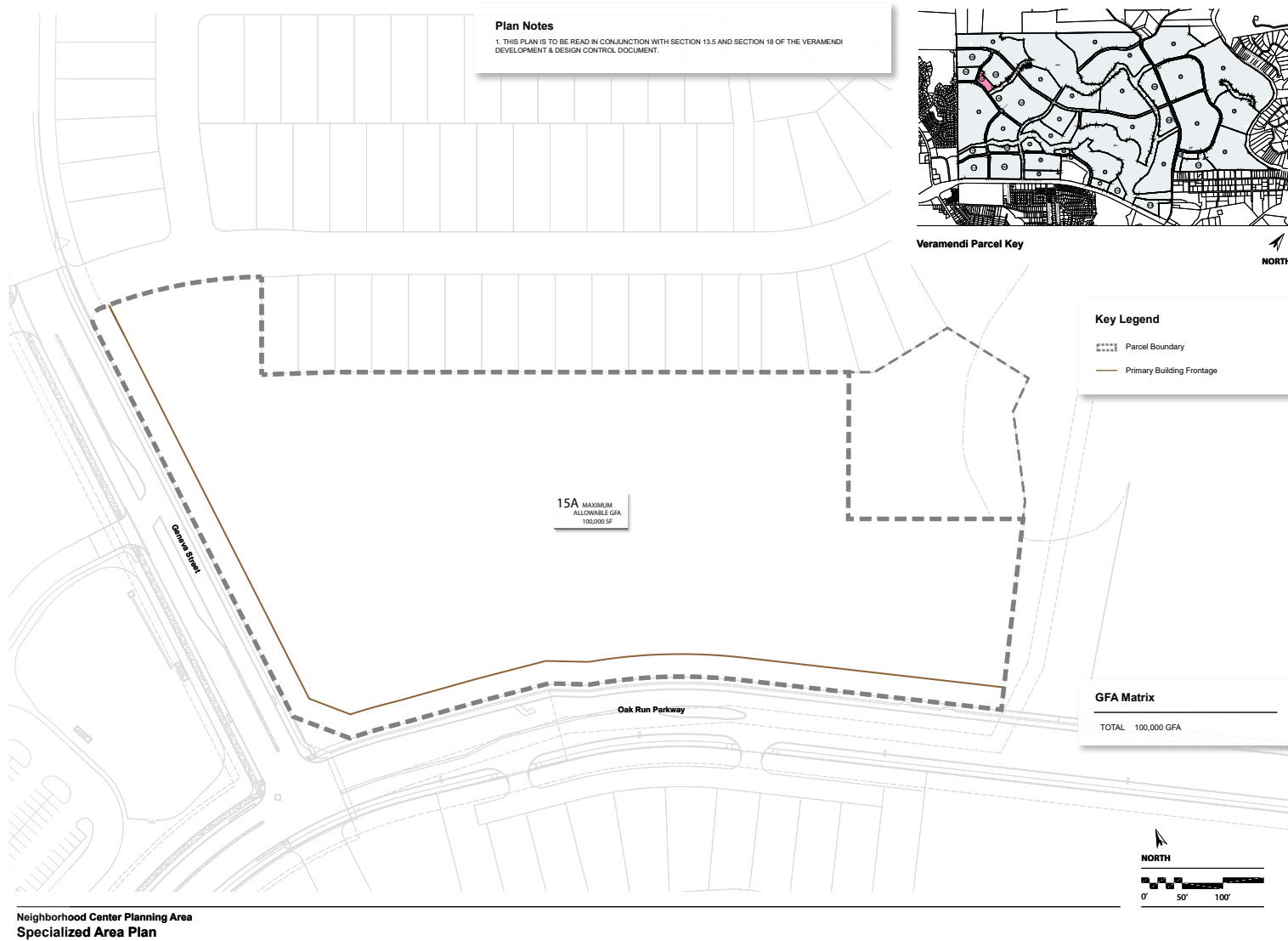


PART J

Appendix 7 Approved Specialized Area Plans



7.2 Neighborhood Center Planning Area (Precinct 15A) Specialized Area Plan





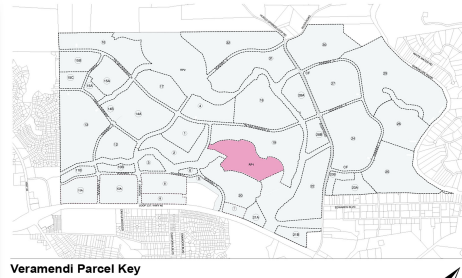
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Appendix 7 Approved Specialized Area Plans

7.3 Parks Planning Area (Regional Park 1) Specialized Area Plan

Plan Notes

1. THIS PLAN IS TO BE READ IN CONJUNCTION WITH SECTIONS 14.4.5 AND 26.3.2 OF THE VERAMENDI DEVELOPMENT & DESIGN CONTROL DOCUMENT.
2. THE PROGRAMMED PARK AREA IS THE SPATIAL LIMIT WITHIN WHICH PARK ACTIVATION CODE SOURCES MAY BE LOCATED. PARK ACTIVATION CODE SOURCES MAY BE POSITIONED AND ORIENTED ANYWHERE WITHIN THE PROGRAMMED PARK AREA SUBJECT TO ANY APPLICABLE MINIMUM DEVELOPMENT STANDARDS IN THE VERAMENDI DEVELOPMENT & DESIGN CONTROL DOCUMENT.
3. AMENDMENTS TO THE PARK PROGRAMMING SCHEDULE, INCLUDING BUT NOT LIMITED TO THE PROVISION OF ADDITIONAL IMPROVEMENTS OR SUBSTITUTING IMPROVEMENTS, SHALL BE ADMINISTRATIVELY APPROVED BY THE PARKS DIRECTOR.
4. THE PARK ACCESS ROAD IS CONCEPTUAL TO SHOW INTENT FOR CONNECTIVITY. THE PRECISE ALIGNMENT, ORIENTATION AND CONFIGURATION OF THE PARK ACCESS ROAD AND OTHER VEHICLE ROUTES WITHIN THE PARK IS TO BE DETERMINED AS PART OF THE PREPARATION OF A PARK PLAN. ADDITIONAL VEHICLE ROUTES MAY BE DESIGNATED WITH THE ADMINISTRATIVE APPROVAL OF THE PARKS DIRECTOR.
5. THE LOCATION AND SPATIAL CONFIGURATION OF OPPORTUNITY PARKING AREAS IS GUIDANCE ONLY AND SHOULD NOT BE CONSTRUED AS FIXED OR MANDATORY. PARKING AREAS MAY BE ESTABLISHED IN ANY LOCATION THAT IS NECESSARY, PRACTICAL AND/OR DESIRABLE AND MEETS THE MINIMUM DEVELOPMENT STANDARDS IN THE VERAMENDI DEVELOPMENT & DESIGN CONTROL DOCUMENT.
6. PEDESTRIAN AND/OR BICYCLE ROUTES ARE CONCEPTUAL TO SHOW INTENT FOR CONNECTIVITY. THE PRECISE ALIGNMENT, ORIENTATION AND CONFIGURATION OF PEDESTRIAN AND BICYCLE ACCESSWAYS IS TO BE DETERMINED AS PART OF THE PREPARATION OF A PARK PLAN. ADDITIONAL PEDESTRIAN AND/OR BICYCLE ACCESSWAYS MAY BE DESIGNATED WITH THE ADMINISTRATIVE APPROVAL OF THE PARKS DIRECTOR.
7. THE PRECISE LOCATION OF THE PRIMARY PARK ENTRY WILL BE DETERMINED IN COORDINATION WITH THE SECTOR PLANNING OF PRECINCT 20.
8. THE PRECISE LOCATION OF THE SECONDARY PARK ENTRY WILL BE DETERMINED IN COORDINATION WITH THE SECTOR PLANNING OF PRECINCT 19.



Key Legend

- Parcel Boundary
- Programmed Park Area
- Parking Area Opportunity
- Pedestrian and/or Bicycle Route (1 mile)
- Park Road Access
- Park Activation Source
- Allowable Zone for Primary Park Entry
- Allowable Zone for Secondary Park Entry

Park Programming Schedule (Refer Table 26-1 DDCD)

Improvement	Pre-Construction	Recreation	Proposed
1 Athletic Field/Playfield (with class 1 lighting)	0	•	•
2 Athletic Field/Playfield (without class 1 lighting)	2	•	•
3 Concession	0	•	•
4 Drinking Fountain and Tap, including pet drinking facility	4	•	•
5 Event Space	1	•	•
6 Exercise Equipment Circuit	2	•	•
7 Fenced Dog Off Leash Area	1	•	•
8 Game Table	0	•	•
9 HOA Facility	0	•	•
10 Informal Sports Facility (e.g. kick about area, half court, ball bouncing wall, skate bowl)	2	•	•
11 Open Play Area	4	•	•
12 Paths/Trails, being either connected to existing or approved future accessways or a loop circuit (per 1/4 mile of path/trail). Primary trail only.	4	•	•
13 Pavilion/Shade Structure	2	•	•
14 Picnic Tables, being 2 tables and a grill	5	•	•
15 Picnic Tables, being 3 tables and no grill	5	•	•
16 Pier/Launch	0	•	•
17 Play Court (with class 1 lighting)	0	•	•
18 Play Court (without class 1 lighting)	0	•	•
19 Playscape	3	•	•
20 Pond	0	•	•
21 Public Art	0	•	•
22 Ropes Course	0	•	•
23 Seating, being 3 individual benches	5	•	•
24 Skate Boarding Facility	0	•	•
25 Sports Clubhouse	0	•	•
26 Spray Ground	0	•	•
Total activation codes shown on plan	40		

Disclaimer

THE SCHEDULE ABOVE SHOWS ALL ALLOWABLE PARK IMPROVEMENTS THAT ARE SOURCES FOR ACTIVATION PER THE DESIGN & DEVELOPMENT CONTROL DOCUMENT. NUMBERED GREEN DOTS ARE FOR GUIDANCE ONLY TO SHOW POTENTIAL LOCATIONS FOR PARK IMPROVEMENTS TO MEET MINIMUM DEVELOPMENT STANDARDS. THE ACTIVATION SOURCES ARE NOT REPRESENTATIVE OF ALL IMPROVEMENTS TO BE INCLUDED IN THE CONSTRUCTED PARK.



A Park Activations Sources 4 8 11 15

C Park Activations Sources 2 5 6 7 8 9 10 11 12 13

D Park Activations Sources 7 8 11 15

B Park Activations Sources 1 2 3 4 6 7 8 9 10 11 12 13

Regional Park 1
Specialized Area Plan



Regional Park 1
Specialized Area Plan

DATE: 08-15-2018





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Appendix 7 Approved Specialized Area Plans

7.4 Resort Planning Area Specialized Area Plan

PLAN NOTES:

1. THIS SPECIALIZED AREA PLAN IS TO BE READ IN CONJUNCTION WITH SECTION 13.4.4 OF THE VERAMENDI DEVELOPMENT & DESIGN CONTROL DOCUMENT (DDCD).

2. A MAXIMUM BUILDING FOOTPRINT IS THE SPATIAL LIMIT WITHIN WHICH BUILDINGS AND STRUCTURES MAY BE LOCATED. BUILDINGS MAY BE POSITIONED AND ORIENTED ANYWHERE WITHIN A MAXIMUM BUILDING FOOTPRINT SUBJECT TO ANY APPLICABLE MINIMUM DEVELOPMENT STANDARDS IN THE VERAMENDI DDCD AND PROVIDED THE STATED MAXIMUM ALLOWABLE GROSS FLOOR AREA (GFA) IS NOT EXCEEDED.

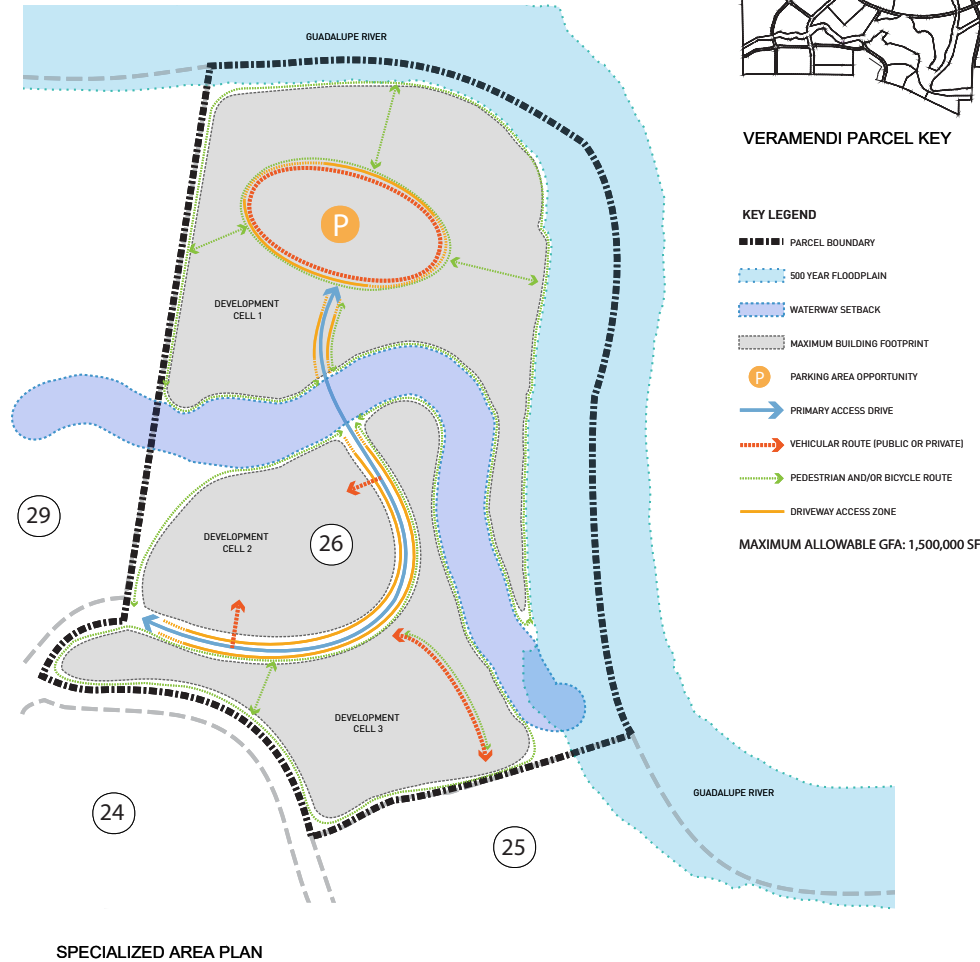
3. THE LOCATION AND SPATIAL CONFIGURATION OF OPPORTUNITY PARKING AREAS IS GUIDANCE ONLY. PARKING AREAS MAY BE ESTABLISHED IN ANY LOCATION THAT IS PRACTICAL AND/OR DESIRABLE, INCLUDING WITHIN MAXIMUM BUILDING FOOTPRINTS. ADDITIONAL PARKING AREAS MAY BE DESIGNATED.

4. THE PRECISE ALIGNMENT, ORIENTATION AND CONFIGURATION OF THE PRIMARY ACCESS DRIVE IS TO BE DETERMINED AT PLAT STAGE FOLLOWING DETAILED ENGINEERING DESIGN.

5. THE PRECISE POSITION, ORIENTATION AND CONFIGURATION OF DRIVEWAY CUTS IS TO BE DETERMINED AT PLAT STAGE FOLLOWING DETAILED ENGINEERING DESIGN.

6. VEHICLE ROUTES ARE CONCEPTUAL TO SHOW INTENT FOR VEHICLE CONNECTIVITY. REFER TO DDCD SECTION 13.4.4 FOR ADDITIONAL GUIDANCE. THE PRECISE ALIGNMENT, ORIENTATION AND CONFIGURATION OF VEHICLE ROUTES IS TO BE DETERMINED AT PLAT STAGE FOLLOWING DETAILED ENGINEERING DESIGN. ADDITIONAL VEHICLE ROUTES MAY BE DESIGNATED. VEHICLE STREETS MAY BE DESIGNATED AS EITHER PRIVATE OR PUBLIC.

7. PEDESTRIANS AND/OR BICYCLE ROUTES ARE CONCEPTUAL TO SHOW INTENT FOR PEDESTRIAN AND BICYCLE CONNECTIVITY. REFER TO DDCD SECTION 13.4.4 FOR ADDITIONAL GUIDANCE. THE PRECISE ALIGNMENT, ORIENTATION AND CONFIGURATION OF PEDESTRIAN AND/OR BICYCLE ACCESSWAYS IS TO BE DETERMINED AT PLAT STAGE FOLLOWING DETAILED ENGINEERING DESIGN. ADDITIONAL PEDESTRIAN AND/OR BICYCLE ACCESSWAYS MAY BE DESIGNATED.



LAKE FLATO

SECTOR 7 - RESORT PLANNING AREA
SPECIALIZED AREA PLAN

SCALE: 1"=200'
DATE: 12.05.2023

VERAMENDI

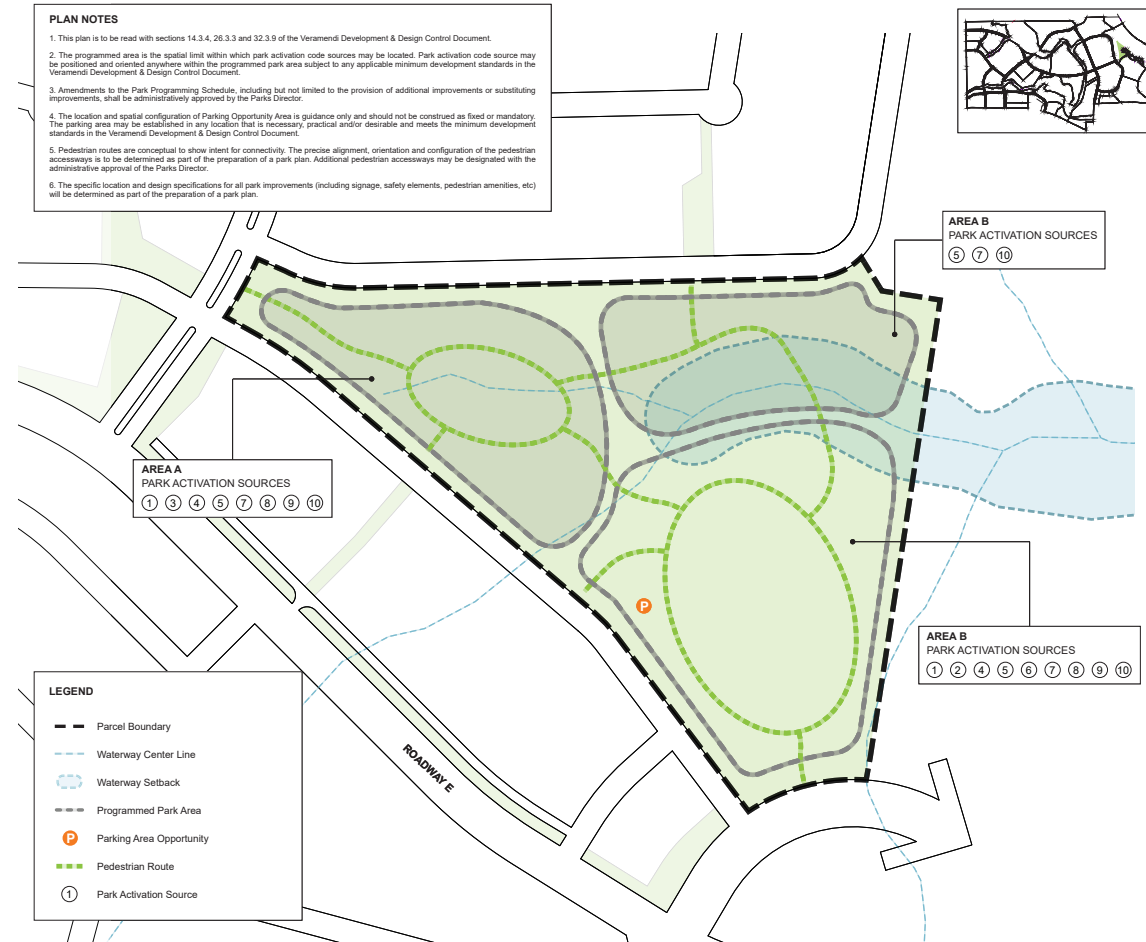


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Appendix 7 Approved Specialized Area Plans



7.5 Parks Planning Area (Community Park) Specialized Area Plan



PARK PROGRAMMING SCHEDULE
(REFER TABLE 26.1 OF VERAMENDI DESIGN & DEVELOPMENT CONTROL DOCUMENT)

Plan ID	Improvement	Activation Source (AS)	Amount	Mandatory	Provided
	Athletic Field / Playfield (with class 1 lighting)	A	0		
	Athletic Field / Playfield (without class 1 lighting)	A	0		
	Bike Racks	-	-		
	Concession	A	0		
1	Drinking Fountain and Tap (including pet drinking facility)	A	3		
2	Event Space	A	1		
3	Exercise Equipment Circuit	A	1		
	Fenced Dog Off-Leash Area	A	0		
	Game Table	A	0		
	HOA Facility	A	0		
	Informal Sports Facility	A	0		
4	Open Play Area	A	1		
5	Paths / Trails (either connected to an existing or future accessways or loop circuit - per 1/4 mile of path/trail)	A	1		
6	Pavilion	A	1		
7	Picnic Area (2 tables and a grill or 3 tables and no grill)	A	3		
	Pier/Launch	A	0		
	Play Court (without class 1 lighting)	A	0		
8	Playscape	A	2		
	Pond	A	0		
9	Public Art	A	2		
	Restroom	-	-		
	Ropes Course	A	0		
10	Seating (3 individual benches)	A	4		
	Signage	-	-		
	Spray Ground	A	0		
	Trash Receptacle	-	-		
Total AS			19		
AS Required			15		
Parking Spaces Required			38		

DISCLAIMER

The schedule above shows all allowable park improvements that are sources for activation (Activation Sources - AS) per the Design & Development Control Document. Numbered dots are for guidance only to show potential locations for park improvements to meet the minimum development standards. The Activation Sources are not representative of all the improvements to be included in the constructed park.


Additional uses and improvements listed (such as restrooms, Splash Play and a Pier/Launch) may be included in the design of the park, even if they are not considered as AS.

RIALTO STUDIO
LANDSCAPE ARCHITECTURE

Rialto Studio, Inc.
7719 Wood Hollow Drive, Suite 240
www.rialtostudio.com

PROJECT
VERAMENDI - Sector 7 Community Park (Informal Use)

TITLE
Specialized Area Plan

 NORTH 0' 100' 200' DATE 06/2023 PAGE 1 of 3



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